

File #

12-H-18-VA

**BOARD OF ZONING APPEALS APPLICATION****APPLICANT INFORMATION**

Name Land Development Solutions
Street Address 310-K Simmons Rd
City, State, Zip Knoxville, TN 37922
Phone Number 865-671-2281
Email

APPLICANT IS:

Owner ☐
Contractor ☒
Tenant ☐
Other ☐

THIS PROPOSAL PERTAINS TO:

New Structure ☒
Modification of Existing Structure ☐
Off Street Parking ☐
Signage ☐
Other ☐

THIS IS A REQUEST FOR:

- ☒ Zoning Variance (Building Permit Denied) ☐ Extension of Non-Conforming Use/or Structure
☐ Appeal of Administrative Official's Decision ☐ Map Interpretation

PROPERTY INFORMATION

Street Address 1904 Highland Avenue
City, State, Zip Knoxville, TN 37916
Parcel # (see KGIS.org) 094NN01701
Zoning District (see KGIS.org) O-1

VARIANCE REQUIREMENTS**City of Knoxville Zoning Ordinance Article 7, Section 2**

The City of Knoxville Board of Zoning Appeals shall have the power and authority to grant variances from terms of this ordinance according to the procedure and under the restrictions set out in this section.

The purpose of the variance is to modify the strict application of the specific requirements of this ordinance in the case of exceptionally irregular, narrow, shallow or steep lots, or other exceptional physical conditions, whereby such strict application would result in practical difficulty or unnecessary hardship which would deprive an owner of the reasonable use of his land. The variance shall be used only where necessary to overcome some obstacle which is preventing an owner from using his property as the zoning ordinance intended.

DESCRIPTION OF APPEAL**Describe your project and why you need variances.**

Construction of an overhead connector between the Laurel Plaza Building located at the northwest quadrant of the Laurel Ave and 19th Street intersection and the Center for Advance Medicine (CAM) building. This connector will provide access between the Laurel Plaza building which houses central sterile, materials management & housekeeping functions to the CAM building where the new emergency department is being constructed. There is a 7' elevation difference between floors and an elevator is required at the Laurel Plaza end to match the CAM Bldg elevation & provide proper street clearance.

Proposed Front yard setback on 19th Street and Laurel Avenue = 0'
Article 4. Section 2.2.1.D.1 - Required Front yard setback = 25'

Describe hardship conditions that apply to this variance.

The 25' setback in this location will prevent the construction of the columns required to support the connector. The need for the elevator to match floor elevations and provide the required vertical clearance from the road requires the connector to be constructed as proposed.

APPLICANT AUTHORIZATION

I hereby certify that I am the authorized applicant, representing ALL property owners involved in this request and that all owners have been notified of this request in writing.

APPLICANT'S SIGNATURE

DATE 11-21-18

File #

12-H-18-VA



CITY OF KNOXVILLE

BOARD OF ZONING APPEALS APPLICATION

*****OFFICE USE ONLY*****

Is a plat required? Yes ☐ No ☒Small Lot of record? ☐

VARIANCE REQUEST(S) WITH ORDINANCE CITATION(S):

1. Reduce the minimum required front yard setback on Laurel Avenue from 25 ft. to 0 ft. per Article 4, Section 2.2.1.D.1.
2. Reduce the minimum required front yard setback on 19th Street from 25 ft. to 0 ft. per Article 4, Section 2.2.1.D.1.

PROJECT INFORMATION

Date Filed 11/20/2018

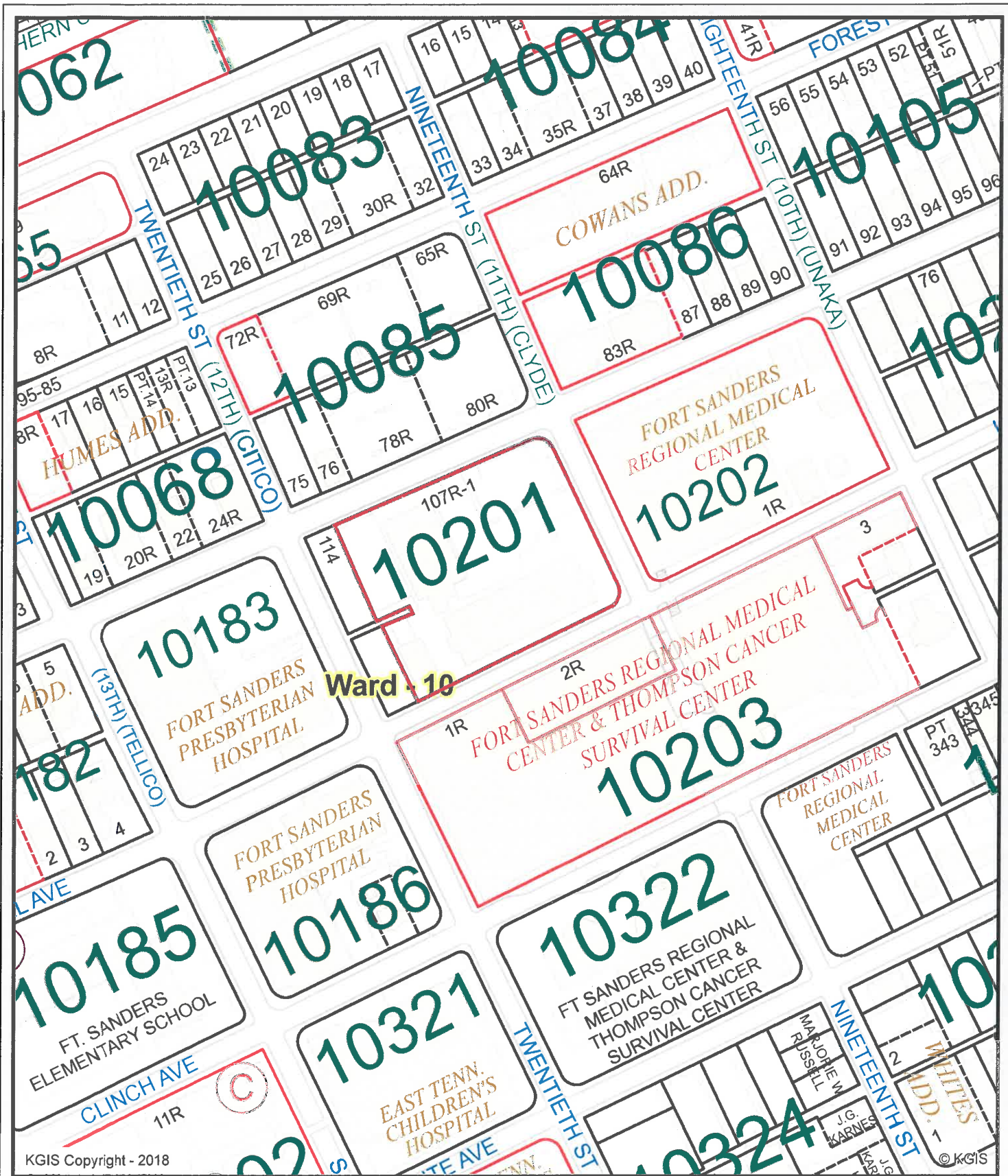
Fee Amount 250.00

Council District 1

BZA Meeting Date December 20, 2018

PLANS REVIEWER Scott Elder

DATE 11/21/2018



Land Development Solutions

1904 Highland Ave.
12-H-18-VA

Knoxville - Knox County - KUB Geographic Information System



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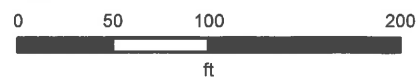
Land Development Solutions

1904 Highland Ave.
12-H-18-VA

Knoxville - Knox County - KUB Geographic Information System



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GRAPHIC SCALE: 1/32" = 1'-0"
0 8 16 24 32 40 48 56 64

GRAPHIC SCALE: 1/16" = 1'-0"
0 4 8 12 16 20 24 28 32 36 40 44 48 52 56 60 64

GRAPHIC SCALE: 3/32" = 1'-0"
0 2 4 6 8 10 12 14 16 18 20 22 24 26 28 30 32 34 36 38 40 42 44 46 48 50 52 54 56 58 60 62 64

GRAPHIC SCALE: 1/8" = 1'-0"
0 2 4 6 8 10 12 14 16 18 20 22 24 26 28 30 32 34 36 38 40 42 44 46 48 50 52 54 56 58 60 62 64

GRAPHIC SCALE: 3/16" = 1'-0"
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GRAPHIC SCALE: 1/4" = 1'-0"
0 2 4 6 8 10 12 14 16 18 20 22 24 26 28 30 32 34 36 38 40 42 44 46 48 50 52 54 56 58 60 62 64

GRAPHIC SCALE: 3/8" = 1'-0"
0 2 4 6 8 10 12 14 16 18 20 22 24 26 28 30 32 34 36 38 40 42 44 46 48 50 52 54 56 58 60 62 64

GRAPHIC SCALE: 1/2" = 1'-0"
0 2 4 6 8 10 12 14 16 18 20 22 24 26 28 30 32 34 36 38 40 42 44 46 48 50 52 54 56 58 60 62 64

GRAPHIC SCALE: 3/4" = 1'-0"
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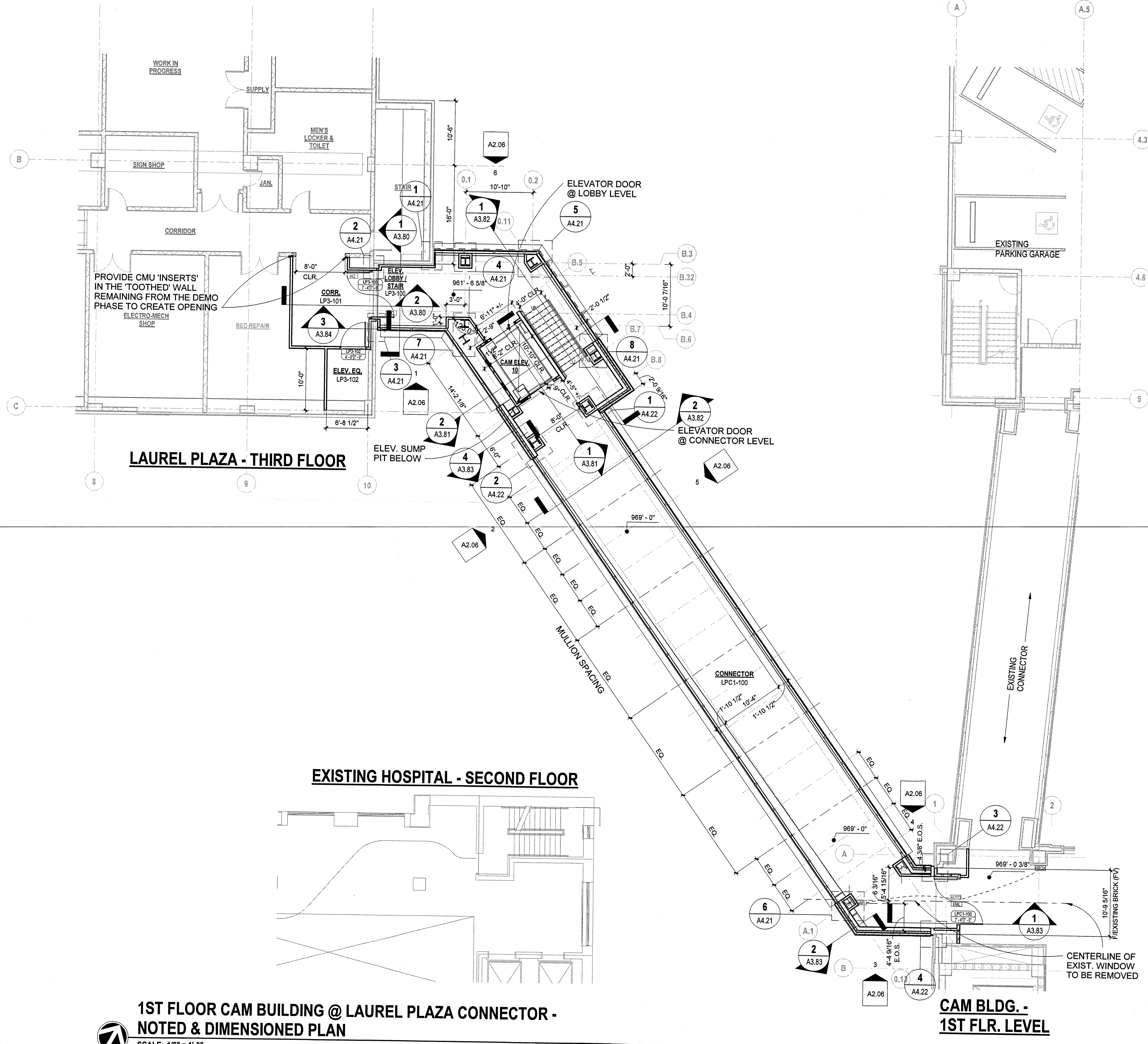
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10/31/2018 11:47:20 AM C:\Users\Project\1003000_CAM Building\New Work_418_Central_Corridor.dwg

- GENERAL NOTES** #
1. ALLOW A MINIMUM OF 18 INCHES LATCH-SIDE CLEARANCE ON THE PULL SIDE OF ALL DOORS WITH MANUAL CLOSERS AND A MINIMUM OF 12 INCHES LATCH-SIDE CLEARANCE ON THE PUSH SIDE OF ALL DOORS WITH MANUAL CLOSERS.
 2. ALLOW A MINIMUM OF 1 INCH CLEARANCE FROM THE EDGE OF ALL WALLS AND THE OUTSIDE FACE OF CASEWORK, TYPICAL.
 3. SEE DIMENSION PLAN FOR WALLS THAT REQUIRE SOUND ATTENUATION BLANKETS AND/OR SPECIFIC SOUND WALL CONSTRUCTIONS.
 4. SEE THE OWNER FURNISHED EQUIPMENT BROCHURE FOR SPECIFIC INFORMATION ON EACH PIECE OF OWNER FURNISHED EQUIPMENT SHOWN ON THE PLANS. ALSO SEE VENDOR DRAWINGS PROVIDED FOR POSSIBLE WORK REQUIRED FOR EACH SPECIFIC VENDOR EQUIPMENT. CONFIRM WORK REQUIRED FOR EACH PIECE OF EQUIPMENT BEFORE COMPLETING CONSTRUCTION FOR THOSE SPACES.
 5. ~~AAA-XXX~~ INDICATES VIEW WINDOW REQUIREMENTS. SEE WINDOW ELEVATION FOR SIZES, GLAZING, ETC. REQUIRED.
 6. ~~BB-188B~~ INDICATES DOOR NUMBER. SEE DOOR SCHEDULE FOR SPECIFIC INFORMATION ON EACH DOOR.
 7. SEE FINISH DRAWINGS FOR SPECIFIC FINISH AND SURFACE PREPARATION REQUIREMENTS FOR EACH SPACE.
 8. SEE REFLECTED CEILING PLANS FOR SPECIFIC CEILING TYPES, HEIGHTS, DETAILS, LIGHTS, DIFFUSERS, ETC.
 9. SEE CASEWORK DRAWINGS FOR SPECIFIC CASEWORK SIZES, FINISHES, AND OTHER REQUIREMENTS.
 10. SEE STRUCTURAL DRAWINGS FOR ANY MISCELLANEOUS FRAMING MEMBERS THAT ARE WITH WALL CONSTRUCTION ABOVE FINISH CEILINGS. INDICATE REINFORCEMENT REQUIREMENTS FOR CONCRETE BLOCK WALLS, ETC.
 11. ALL CORRIDOR WALLS ARE TO BE SEALED TO LIMIT THE TRANSFER OF SMOKE (SMOKE RESISTIVE) REGARDLESS OF THE FIRE RATING ASSOCIATED WITH THE WALL.
 12. ALL EXPANSION JOINTS THROUGH RATED ASSEMBLIES SHALL HAVE THE SAME FIRE RATING AS THE ASSEMBLY. ALL EXPANSION JOINTS THROUGH RATED ASSEMBLIES SHALL HAVE THE SAME FIRE RATING AS THE ASSEMBLY.
 13. MOUNT BOTTOM OF TVS IN ALL ROOMS AT 80" A.F.F. MINIMUM.
 14. PROVIDE BLOCKING FOR LOCKERS, PROX. CABINETS, AND OTHER EQUIPMENT AS REQUIRED.
 15. PROVIDE 6" METAL STUDS AT WATER CLOSET WET WALLS AND ALL BACK-TO-BACK PATIENT HEADWALLS. TYPICAL UNLESS NOTED OTHERWISE (U.N.O.).
 16. PATCH AND REPAIR ALL EXISTING FIRE RATED WALLS WITHIN LIMITS OF WORK, TO MAINTAIN EXISTING OR NEW REQUIRED FIRE RATINGS.
 17. ALL CORRIDOR WALLS, EXAM ROOM HEADWALLS AND EQUIPMENT STORAGE ROOMS AND ALCOVES TO HAVE HEAVY DUTY (HIGH IMPACT RESISTANT) GYPSUM BOARD.
 18. VERIFY RATING OF EXISTING PARTITIONS AND UPGRADE IF REQUIRED BY NEW CONSTRUCTION.
 19. SYMBOL INDICATES SPACE OR FEATURE HAS ACCESSIBILITY REQUIREMENTS. SEE ACCESSIBILITY DRAWINGS.
 20. EXTERIOR WINDOWS MARKED WITH A ARE SPANDREL GLASS PANELS WITH CURTAIN WALL INSULATION. SEE EXTERIOR ELEVATIONS FOR LOCATIONS.
 21. THE OWNER SHALL PROVIDE AND THE CONTRACTOR SHALL INSTALL THE FOLLOWING:
 - A. AT EACH SINK/LAVATORY LOCATION, ONE SOAP DISPENSER U.N.O. VERIFY LOCATION WITH OWNER'S REPRESENTATIVE.
 - B. AT EACH PATIENT CARE, UTILITY AND WORK AREA, ONE SHARPS DISPOSAL UNIT, GLOVES DISPENSER, AND HAND GEL DISPENSER, AS DIRECTED BY OWNER. VERIFY LOCATIONS WITH OWNER'S REPRESENTATIVE.
 22. PROVIDE 22 GA. SHEET METAL CONTINUOUSLY BEHIND GYP. BD. WALLS & CEILINGS
 23. PROVIDE LEAD LINED WALLS/ DOORS/ FRAMES/ GLASS PER PHYSICIST REPORT.

WALL LEGEND

	EXISTING NON-RATED PARTITION TO 4' ABOVE CEILING		NON-RATED PARTITION TO 4' ABOVE CEILING
	EXISTING NON-RATED PARTITION TO DECK		NON-RATED PARTITION TO DECK
	EXISTING SMOKE PARTITION TO DECK		SMOKE PARTITION TO DECK
	EXISTING 1-HOUR FIRE BARRIER		1-HOUR FIRE BARRIER
	EXISTING 1-HOUR SMOKE BARRIER		1-HOUR SMOKE BARRIER
	EXISTING 1-HOUR RATED SHAFT WALL BARRIER		1-HOUR RATED SHAFT WALL BARRIER
	EXISTING 2-HOUR FIRE BARRIER		2-HOUR FIRE BARRIER
	EXISTING 2-HOUR SMOKE BARRIER		2-HOUR SMOKE BARRIER
	EXISTING 2-HOUR RATED SHAFT WALL BARRIER		2-HOUR RATED SHAFT WALL BARRIER
	EXISTING NON-RATED C.M.U. PARTITION TO DECK		NON-RATED C.M.U. PARTITION TO DECK
	EXISTING 1-HOUR C.M.U. FIRE BARRIER TO DECK		1-HOUR C.M.U. FIRE BARRIER TO DECK
	EXISTING 2-HOUR C.M.U. FIRE BARRIER TO DECK		2-HOUR C.M.U. FIRE BARRIER TO DECK
	EXISTING 3-HOUR C.M.U. FIRE BARRIER TO DECK		3-HOUR C.M.U. FIRE BARRIER TO DECK
	EXISTING 4-HOUR C.M.U. FIRE BARRIER TO DECK		4-HOUR C.M.U. FIRE BARRIER TO DECK
	EXISTING 1-HOUR C.M.U. SMOKE BARRIER TO DECK		1-HOUR C.M.U. SMOKE BARRIER TO DECK
	EXISTING 2-HOUR C.M.U. SMOKE BARRIER TO DECK		2-HOUR C.M.U. SMOKE BARRIER TO DECK
	EXISTING CAST-IN-PLACE CONC.		CAST-IN-PLACE CONC.
	EXISTING 2-HOUR CONC. FIRE BARRIER		2-HOUR CONC. FIRE BARRIER
	EXISTING 2-HOUR CONC. SMOKE BARRIER		2-HOUR CONC. SMOKE BARRIER
	EXISTING 4-HOUR CONC. FIRE BARRIER		4-HOUR CONC. FIRE BARRIER
	EXISTING 4-HOUR CONC. SMOKE BARRIER		4-HOUR CONC. SMOKE BARRIER



1ST FLOOR CAM BUILDING @ LAUREL PLAZA CONNECTOR - NOTED & DIMENSIONED PLAN
SCALE: 1/8" = 1'-0"

ESa
Earl Swenson Associates, Inc.
richard l. miller, architect
1033 Demonbreun Street
Suite 800
Nashville Tennessee 37203
615-329-9445

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Seals

ED & ICU ADDITIONS & RENOVATIONS TO FORT SANDERS REGIONAL MEDICAL CENTER
KNOXVILLE, TENNESSEE

FORT SANDERS REGIONAL MEDICAL CENTER
Covenant HEALTH

DOCUMENT CHANGES

Description	Date

Issue Description CD
Original Issue Date 10/17/18
Project No 16083.00
Drawn By HWJ Checked By WCH
Drawing Title

LAUREL PLAZA CONNECTOR FLOOR PLANS

Sheet Number

A1.LPC-2

GRAPHIC SCALE: 1/32" = 1'-0"

GRAPHIC SCALE: 1/16" = 1'-0"

GRAPHIC SCALE: 3/32" = 1'-0"

GRAPHIC SCALE: 1/8" = 1'-0"

GRAPHIC SCALE: 3/16" = 1'-0"

GRAPHIC SCALE: 1/4" = 1'-0"

GRAPHIC SCALE: 3/8" = 1'-0"

GRAPHIC SCALE: 1/2" = 1'-0"

GRAPHIC SCALE: 3/4" = 1'-0"

GRAPHIC SCALE: 1" = 1'-0"

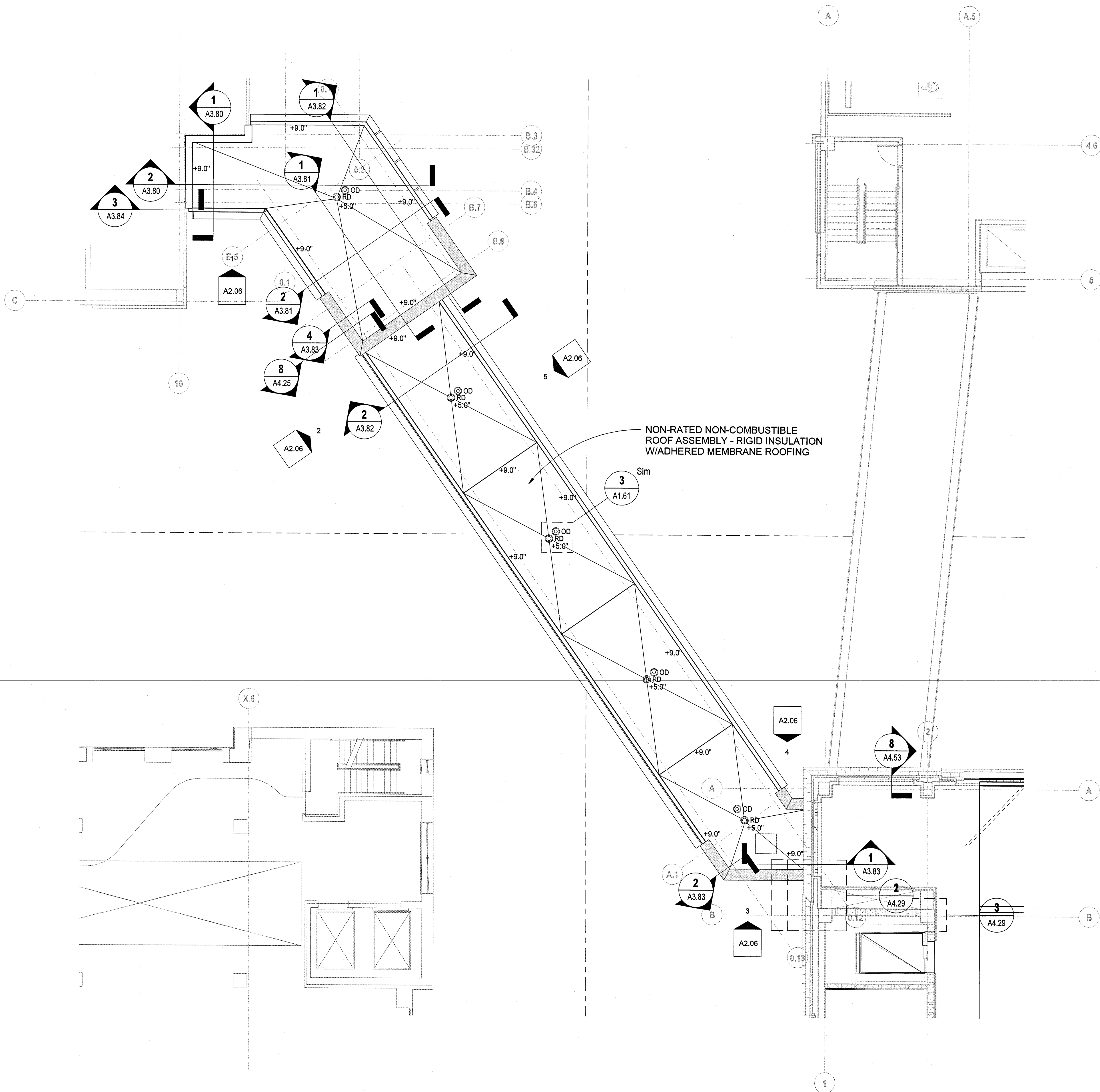
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GENERAL ROOF PLAN NOTES

- "R.D." INDICATES ROOF DRAIN. "O.D." INDICATES OVERFLOW DRAIN.
- "SCUPPER" INDICATES OVERFLOW SCUPPER IN EITHER PARAPET WALL OR GRAVEL STOP. SEE PLANS FOR LOCATIONS.
- ARROWS ON THE ROOF PLAN INDICATE WATER DRAINAGE DIRECTION. ROOF SLOPES SHALL BE A MINIMUM OF 1/4" PER FOOT OR AS PER MANUFACTURER'S RECOMMENDATIONS.
- RIGID INSULATION BOARD & LIGHTWEIGHT INSULATING CONCRETE CRICKETS DIRECTING WATER TO ROOF DRAINS SHALL BE SLOPED TO DIRECT POSITIVE DRAINAGE TO THE ROOF DRAINS AT A MINIMUM OF 1/4" PER FOOT OR AS PER MANUFACTURER'S RECOMMENDATIONS.
- THICKNESS INDICATED ON THE ROOF PLAN IS MINIMUM ALLOWED. THIS IS MEASURED FROM THE TOP OF CONCRETE OR METAL DECK TO THE TOP OF ROOF CONSTRUCTION PER THE SPECIFIC U.L. ROOF ASSEMBLY NOTED ON THE ROOF PLAN. SEE THE INDEX AND G2 SERIES OF SHEETS FOR SPECIFIC INFORMATION ON EACH U.L. ROOF ASSEMBLY'S REQUIREMENTS. BUILD UP EDGES OF ROOF THE THICKNESS SHOWN.
- ROOF DRAINS SHALL NOT BE LOCATED LESS THAN 12" FROM ANY BEAM CENTERLINE.
- ALL EXPOSED MECHANICAL EQUIPMENT SHALL BE PAINTED TO MATCH THE ARCHITECT'S SELECTION
- SEE ELECTRICAL SHEETS FOR INFORMATION ON LIGHTNING PROTECTION.
- SEE PLUMBING PLANS FOR ROOF DRAIN SIZES.
- SEE PLUMBING PLANS FOR ALL VENT PIPE LOCATIONS.
- ROOFING CONTRACTOR IS TO INSTALL FLASHING AT ALL ROOF PENETRATIONS AS PER MANUFACTURER'S STANDARD DETAILS.
- APPROXIMATE LOCATION OF ROOF ANCHORS FOR WINDOW WASHING EQUIPMENT ARE INDICATED USING "R.A.". ANCHORS TO BE SECURED TO STRUCTURAL BUILDING STEEL. SEE STRUCTURAL FOR DETAIL.
- ALL ROOF EDGE CONDITIONS ARE TO BE CONSIDERED PARAPET WALLS UNLESS OTHERWISE NOTED.
- ALL VENTS THROUGH ROOF SHALL MAINTAIN THE FOLLOWING MINIMUM DISTANCES:
A. MECHANICAL FRESH AIR INTAKE - 25'-0"
B. EDGE OF BUILDING - 5'-0"

ROOF LEGEND

- | | | |
|------------------------|----------------------------------------------------------|-------------------------------------------------------------------------|
| R.D. | ROOF DRAIN | INDICATES TPO ROOFING SYSTEM; SEE SPECS. |
| O.D. | OVERFLOW DRAIN | INDICATES STANDING SEAM ROOF; SEE SPECS. |
| D.S. | DOWNSPOUT | INDICATES ROOFTOP STRUCT. CAPS FOR FUTURE EXPANSION; SEE DETAIL S/A1.61 |
| +3 | INSULATION THICKNESS | |
| SLOPE
1/4"/FT. MIN. | INDICATES DIRECTION OF ROOF SLOPE | |
| • | TIE-BACK ANCHOR PER WINDOW WASHING MFR. (REFER TO SPEC.) | |



ROOF PLAN - LAUREL PLAZA CONNECTOR

SCALE: 1/8" = 1'-0"

ESa

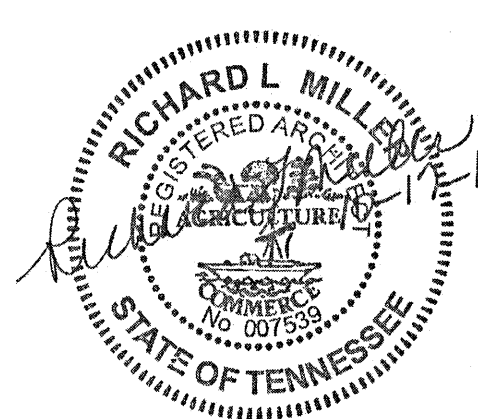
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Seals



ED & ICU ADDITIONS & RENOVATIONS TO
FORT SANDERS REGIONAL MEDICAL CENTER

KNOXVILLE, TENNESSEE



DOCUMENT CHANGES

Description	Date

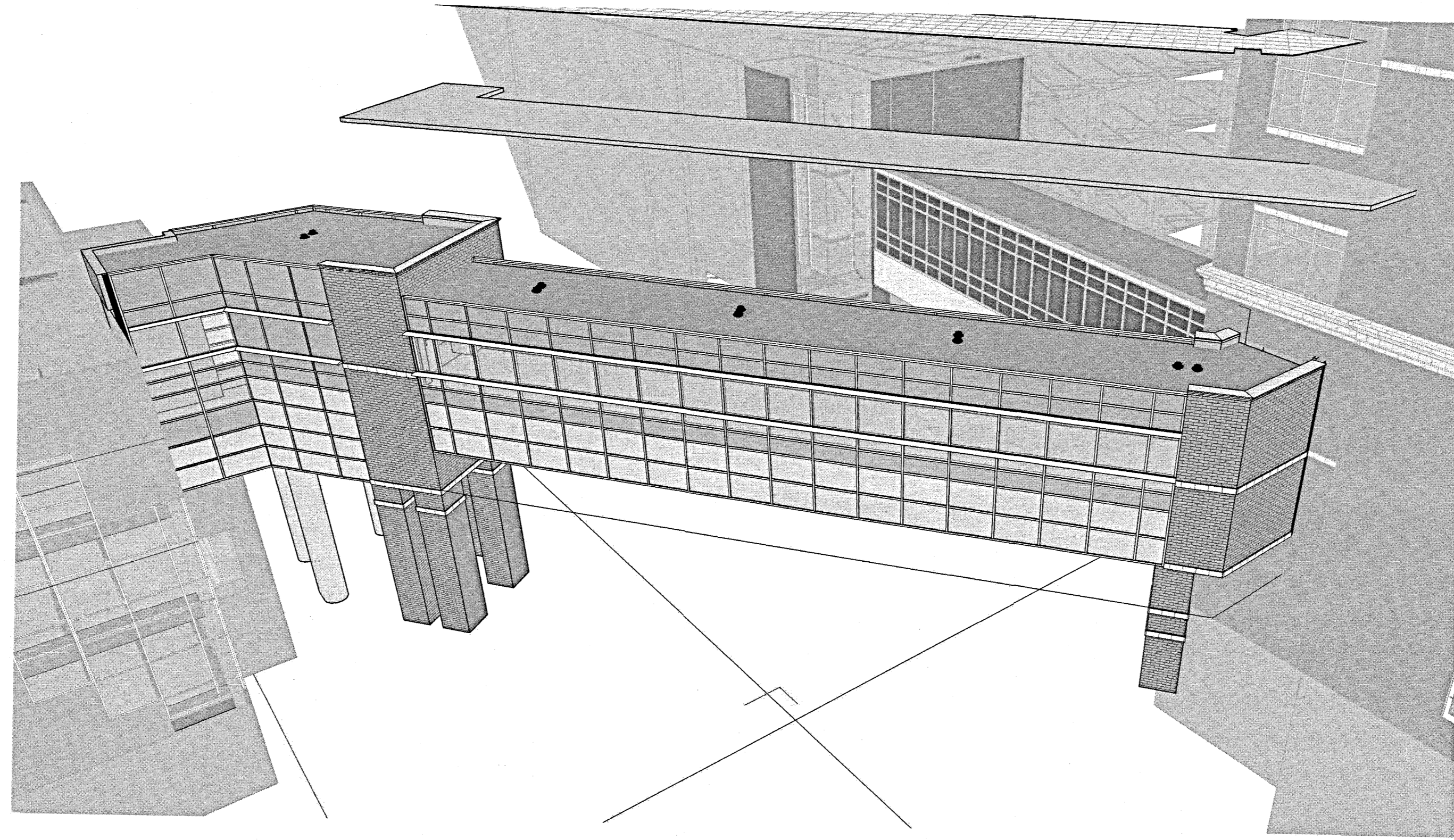
Issue Description	CD
Original Issue Date	10/17/18
Project No	16083.00
Drawn By	HWJ
Checked By	WCH
Drawing Title	

LAUREL PLAZA
CONNECTOR ROOF
PLAN

Sheet Number

A1.LPC-R


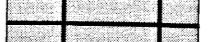







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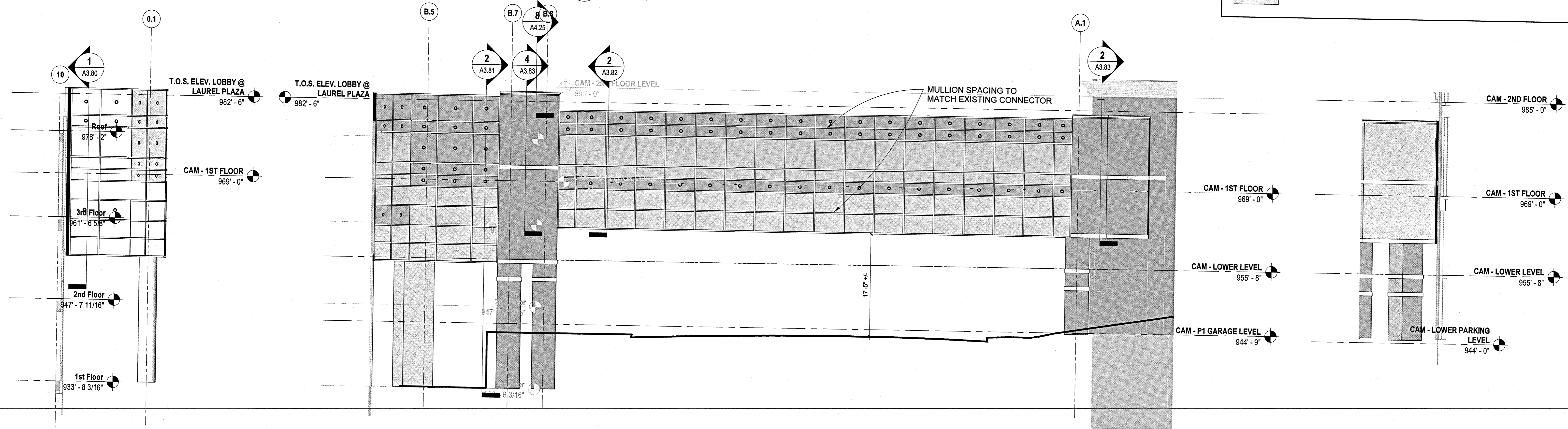


A 3D VIEW OF LAUREL PLAZA CONNECTOR

SCALE:

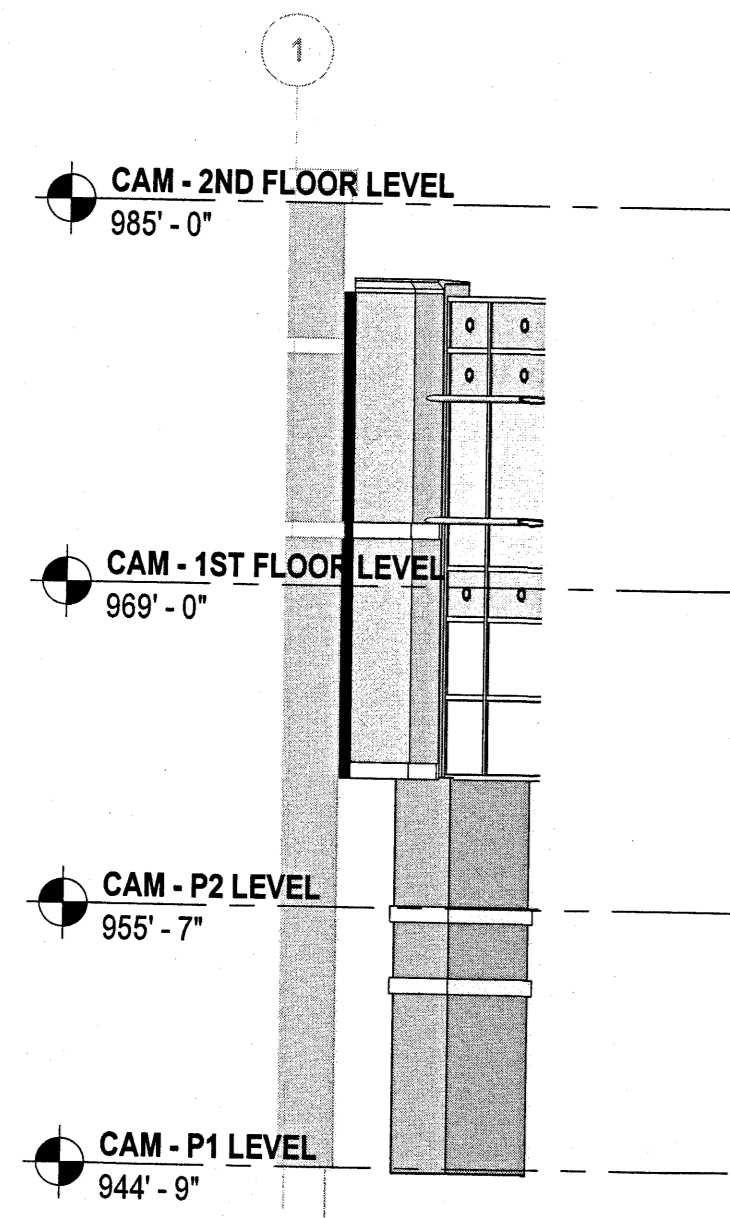
BUILDING MATERIALS

	METAL PANEL 1 - PPG DURANAR UC106712XL SUMMER SUEDE METALLIC		TERRA COTTA TILE
	METAL PANEL 2 - PPG DURANAR UC106710XL FAWN METALLIC		CALCIUM SILICATE MASONRY UNITS
	METAL PANEL 3 - ANODIZED ALUMINUM FINISH		EXTERIOR INSULATED FINISH SYSTEM (E.I.F.S.)
	VISION GLASS		SPANDREL GLASS
	VISION GLASS W/ INTEGRAL BLINDS		



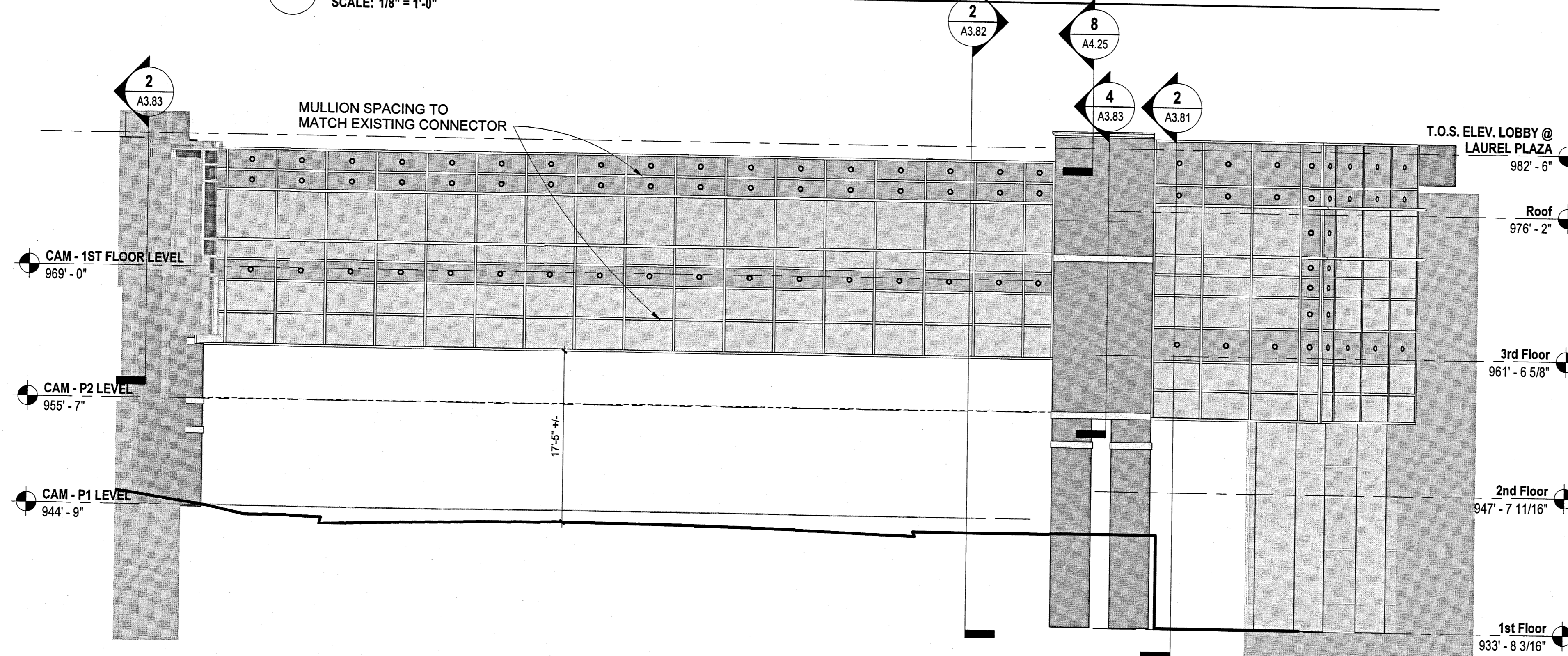
1 SOUTH ELEVATION @ LAUREL PLAZA

SCALE: 1/8" = 1'-0"



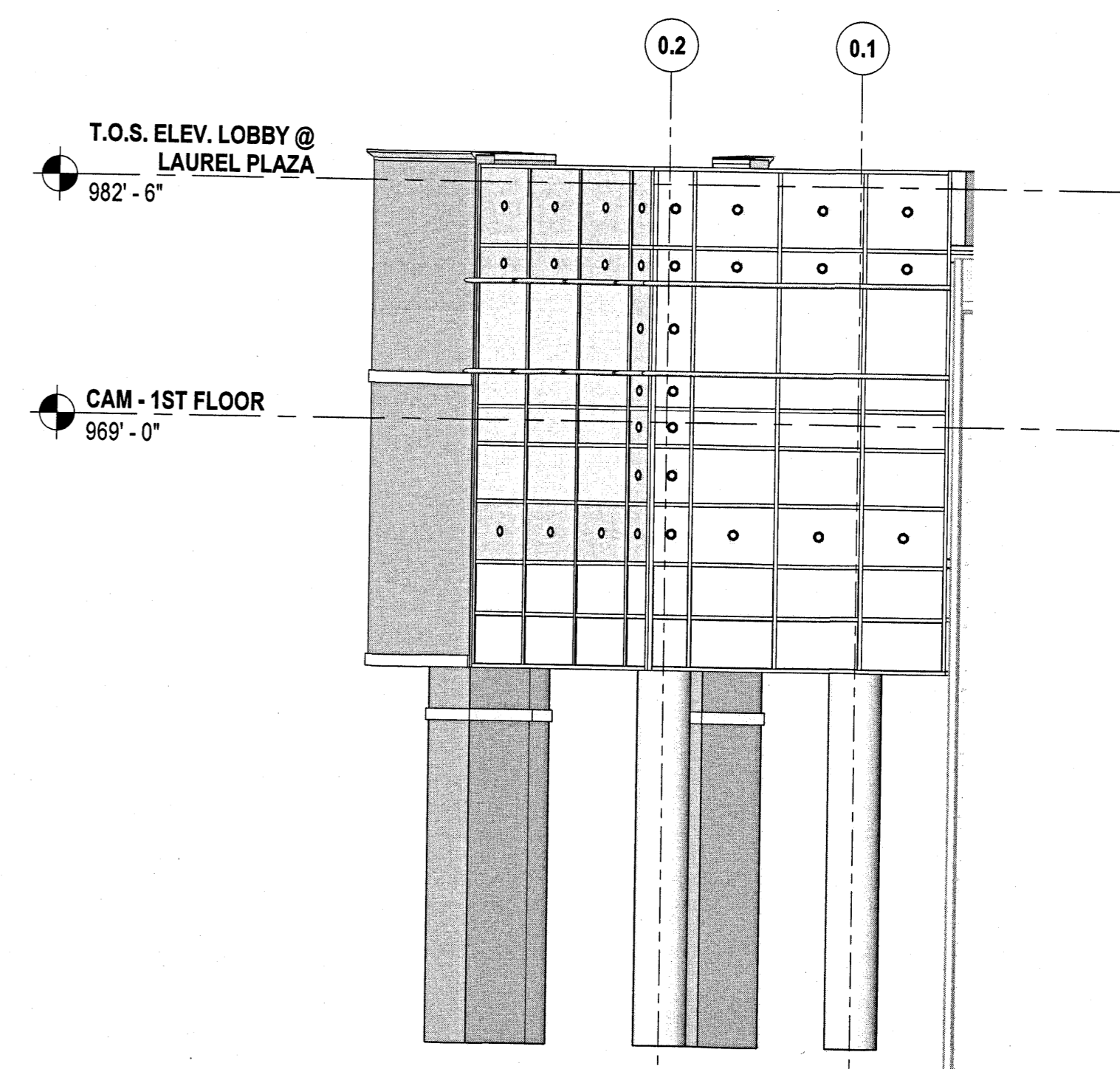
2 SOUTHWEST ELEVATION - LAUREL PLAZA CONNECTOR

SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION @ CAM BUILDING

SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION @ CAM BUILDING

SCALE: 1/8" = 1'-0"

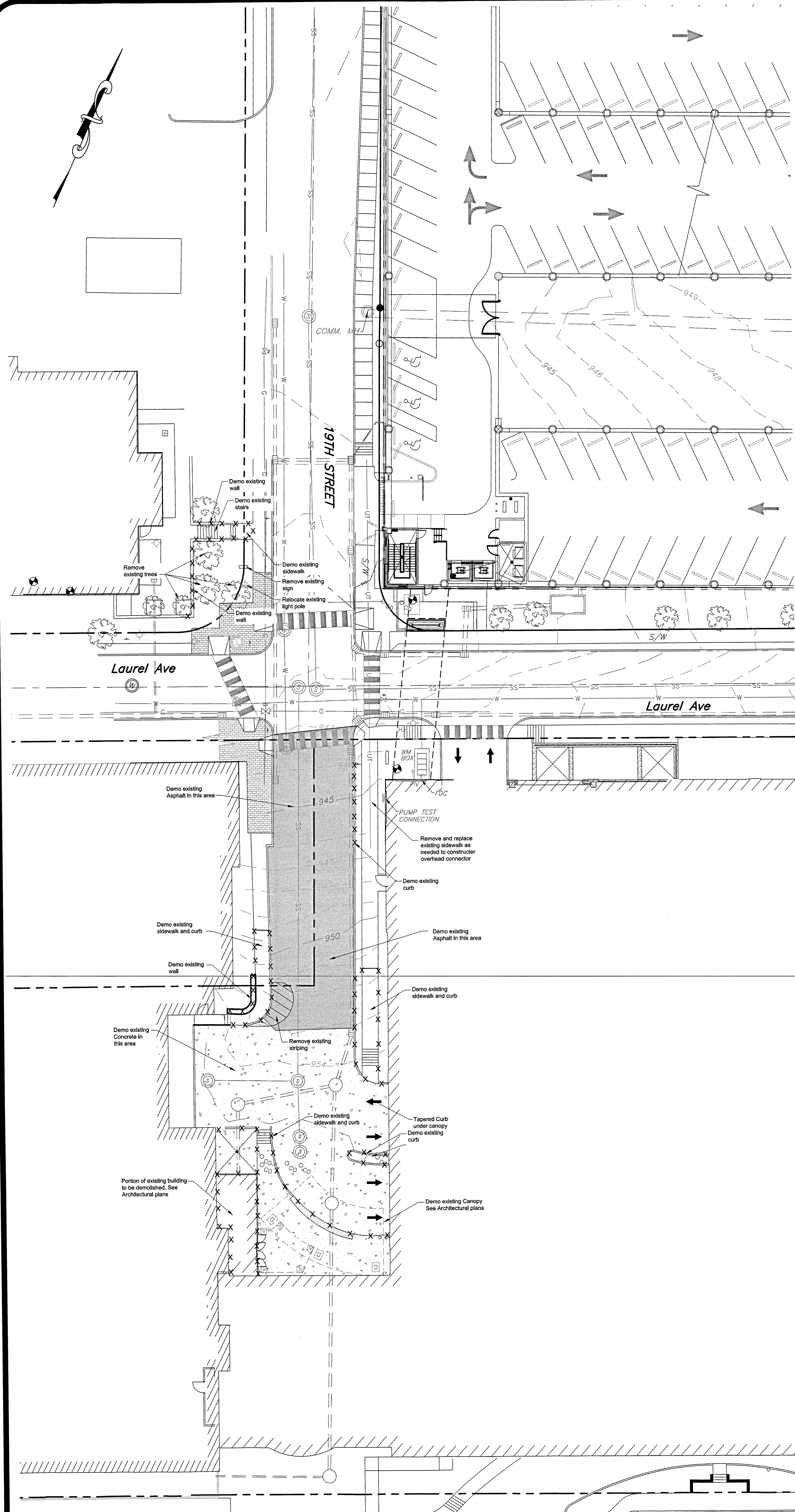
5 NORTHEAST ELEVATION - LAUREL PLAZA CONNECTOR

SCALE: 1/8" = 1'-0"

6 NORTH ELEVATION @ LAUREL PLAZA

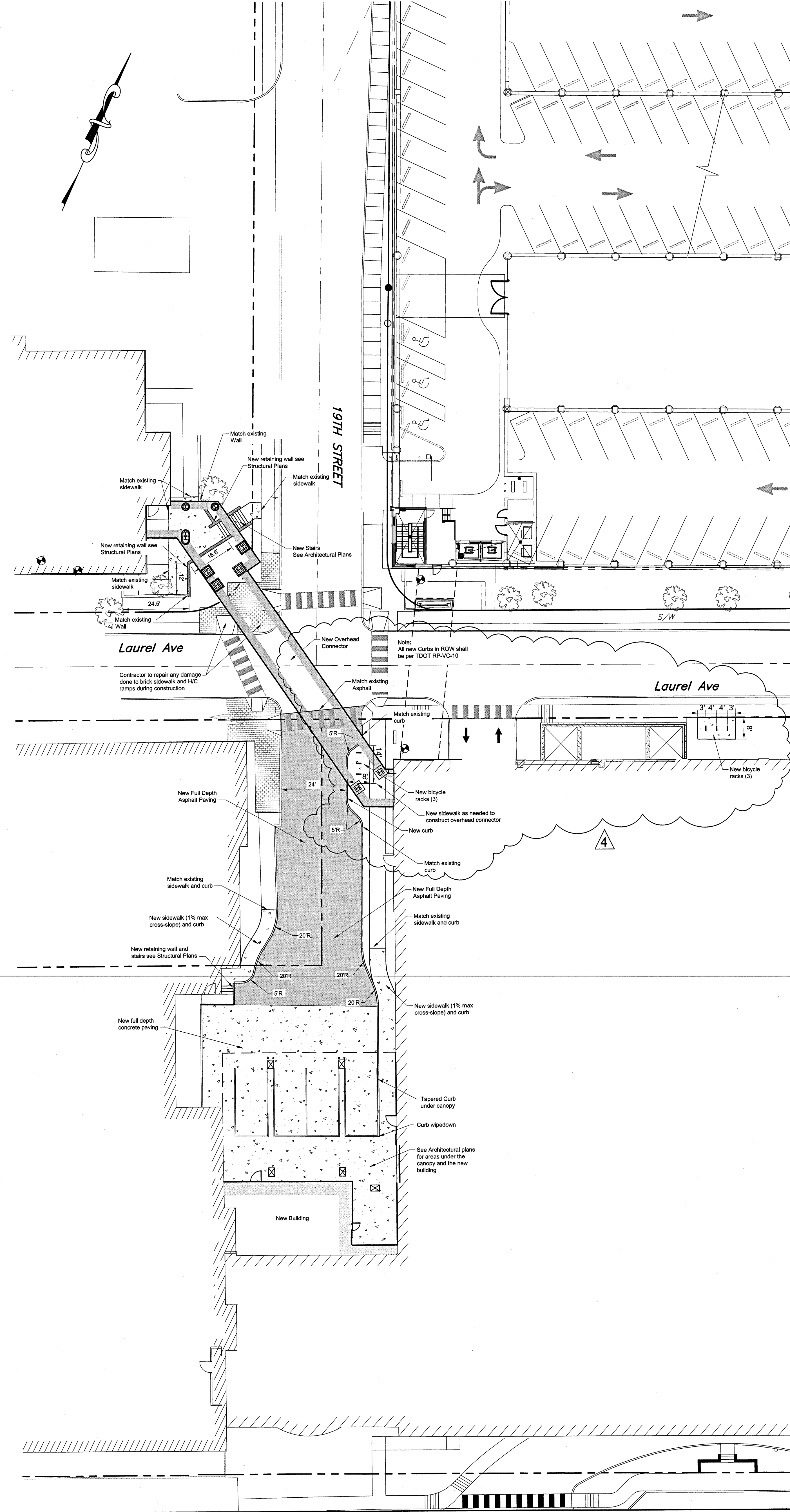
SCALE: 1/8" = 1' 0"

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1
1"=20'

Site Demolition



2
1"=20'

Site Layout

GENERAL NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL TENNESSEE ONE CALL AND ANY UTILITY THAT DOES NOT SUBSCRIBE TO ONE CALL AT LEAST 72 HOURS BEFORE ANY EXCAVATION, TO REQUEST EXACT FIELD LOCATION OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- OWNER: FORT SANDERS REGIONAL MEDICAL CENTER
1901 CLINCH AVENUE
KNOXVILLE, TENNESSEE 37916
- SURVEY BY: LAND DEVELOPMENT SOLUTIONS
310 SIMMONS ROAD, SUITE K
KNOXVILLE, TN 37922
PH. 865-671-2281
- PROPERTY IS LOCATED IN KNOXVILLE AND IS ZONED O-1.
- LOT ACREAGE = 4.15 ACRES.
- LANDSCAPING SHALL COMPLY WITH KNOXVILLE TREE PROTECTION ORDINANCE.

LAYOUT NOTES

- All dimensions to curb line reference face of curb - see detail.
- See architectural drawings for building dimensions. All dimensions to building are approximate unless specifically noted as building layout points.
- See Utility Plan for new and existing utility line locations. See Grading and Drainage Plan for new and existing storm drain locations.

LEGEND

	BENCHMARK
	PROPERTY LINE
	EXISTING FENCE
	EXISTING BUILDING EDGE
	EXISTING TREE LINE
	EXISTING TREE
	EXISTING CURB LINE
	EXISTING CATCH BASIN
	EXISTING HEADWALL
	EXISTING STORM LINE
	EXISTING WATER LINE
	EXISTING WATER VALVE
	EXISTING WATER METER
	EXISTING FIRE HYDRANT
	EXISTING SANITARY MAIN
	EXISTING SANITARY MANHOLE
	EXISTING GAS MAIN
	EXISTING GAS VALVE
	EXISTING UNDERGROUND FIBER OPTIC LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING UNDERGROUND TELEPHONE LINE
	EXISTING OVERHEAD LINE
	EXISTING POWER POLE
	EXISTING LIGHT POLE
	EXISTING CONTOURS

Notes:

All contraction joints shall be sawed to 1/4 slab thickness. Joints at building and retaining walls shall be expansion joints. Construction joints shall be thickened edge joints or shall be dowelled with 1" plain smooth dowel bars 18" long each placed at 12" O.C. The exposed end of the dowel bar shall be greased prior to placement of new concrete.

Unless otherwise shown on joint layout plan.

Joint Pattern Detail

Section

Concrete/Asphalt Transition

Concrete Paving Detail

ED & ICU Additions & Renovations

Project: FORT SANDERS REGIONAL MEDICAL CENTER

Land Development Solutions

310 SIMMONS RD., SUITE K-KNOXVILLE, TENNESSEE 37922
PH. 865-671-2281

Site Demo and Layout Plan
Volume One

Revision	Date	Revisions per Owner/Arch	Revisions per City of Knoxville Comments
1	8/27/18		
4	11/2/18		

Drawn By: CDB

Checked: EJB

Approved: EJB

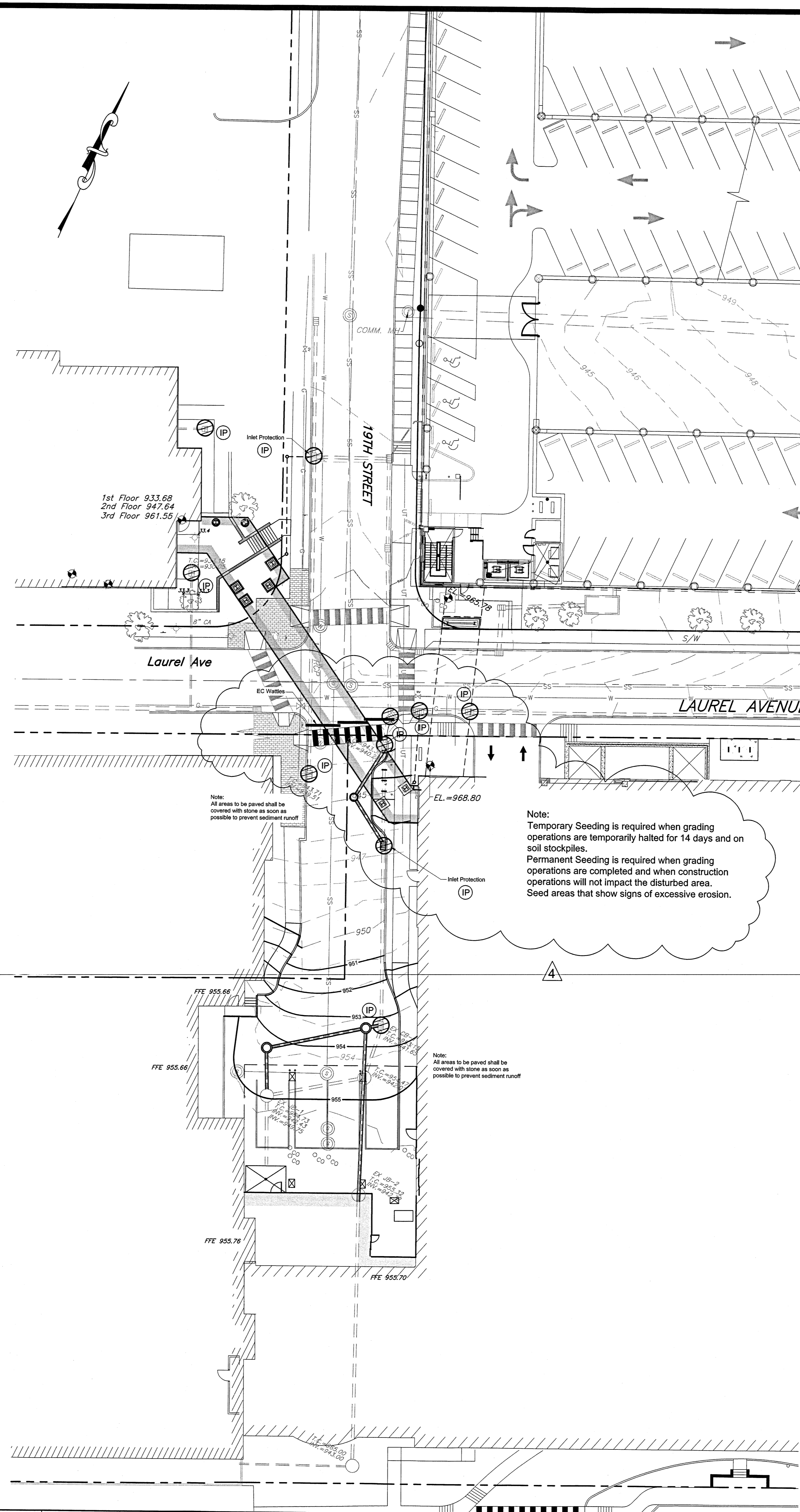
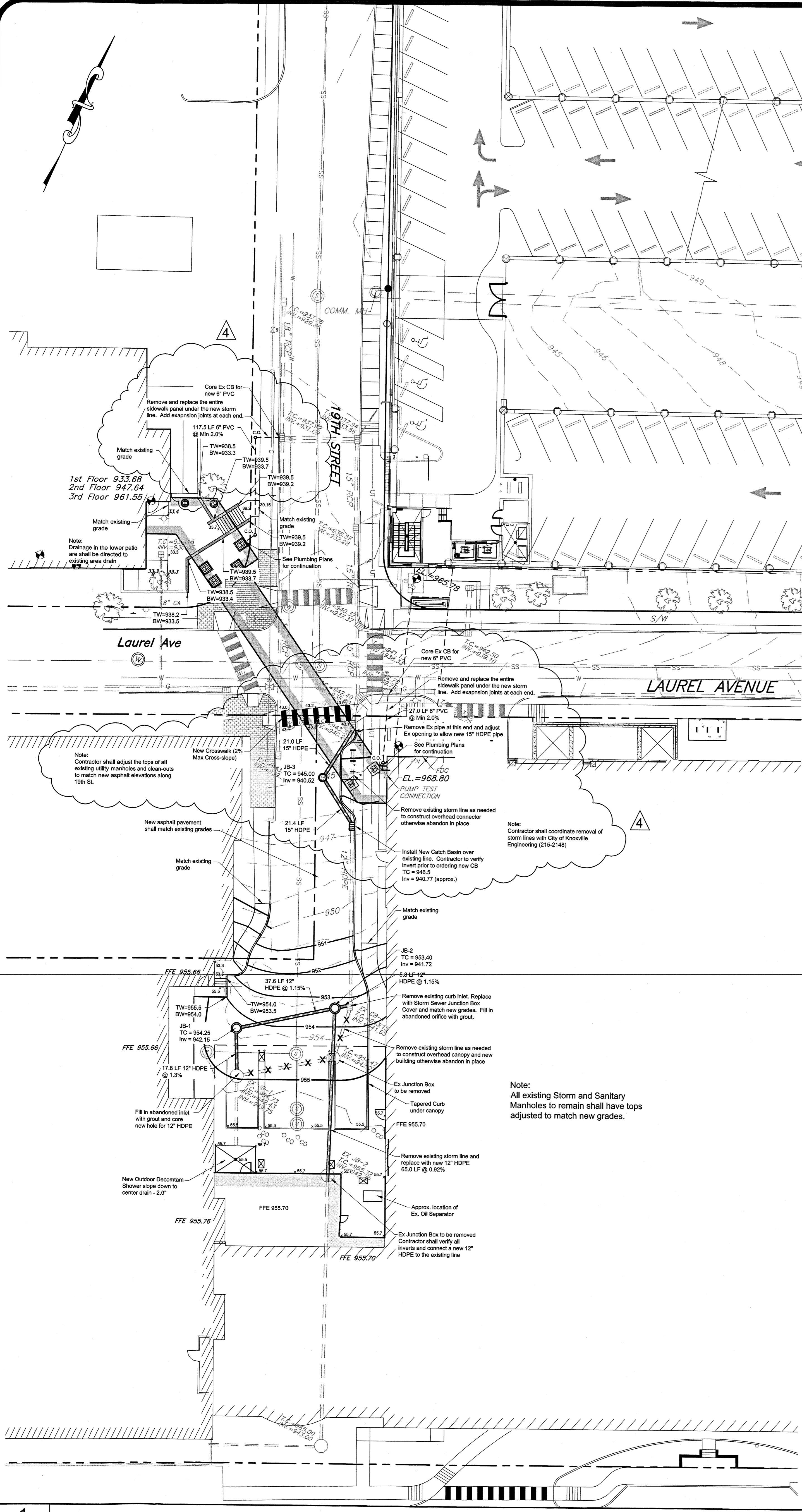
Job No.: 218023

1"=20' Scale: 8-13-18 Date

C101

Sheet No.

12(G.H.A.)-16-NA



General Notes

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL TENNESSEE ONE CALL AND ANY UTILITY THAT DOES NOT SUBSCRIBE TO ONE CALL AT LEAST 72 HOURS BEFORE ANY EXCAVATION, TO REQUEST EXACT FIELD LOCATION OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. OWNER: FORT SANDERS REGIONAL MEDICAL CENTER
1901 CLINCH AVENUE
KNOXVILLE, TENNESSEE 37916
3. SURVEY BY: LAND DEVELOPMENT SOLUTIONS
310 SIMMONS ROAD, SUITE K
KNOXVILLE, TN 37922
PH. 865-671-2281
4. PROPERTY IS LOCATED IN KNOXVILLE AND IS ZONED O-1.
5. LOT ACREAGE = 4.15 ACRES.
6. LANDSCAPING SHALL COMPLY WITH KNOXVILLE TREE PROTECTION ORDINANCE.

Drainage Notes

1. All storm lines in paved areas shall be backfilled to pavement subgrade with #57 stone.
2. All trenching and shoring shall comply with OSHA standards.
3. Storm lines and structures shall be constructed as soon as possible. Inlet Protection shall be used around structures to minimize the silt entering into drainage system. All silt shall be removed from structures and lines.
4. Pipe lengths and slope are measured from center of structure to center of structure.
5. All HDPE storm lines shall be smooth interior.
6. Contractor shall provide as-built survey of storm system PRIOR to paving. As-built survey shall include storm structure tops, inverts, pipe materials, slopes, and detention basin grading (1 foot contours). Survey shall be provided in electronic format (ACAD 2009 compatible) as well as stamped paper copy. Survey shall be on the same datum as coordinate system as the design plans. All survey points shall be provided in a comma delimited text file (PNEZD format).
7. After construction is complete, contractor shall provide as-built survey as noted above. Survey shall be updated to reflect any changes or modifications to the storm system since the first as-built survey. As-built survey shall include storm structure tops, inverts, pipe materials, slopes, and detention basin grading (1 foot contours). Survey shall be provided in electronic format (ACAD 2009 compatible) as well as stamped paper copy. Survey shall be on the same datum as coordinate system as the design plans. All survey points shall be provided in a comma delimited text file (PNEZD format).

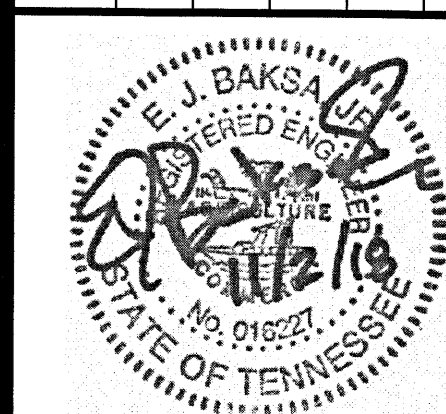
Retaining Wall Notes

1. This plan shows the location of several retaining walls which will be required in order to construct the finished grades indicated. No retaining wall design has been done by Land Development Solutions (LDS). The contractor shall obtain the services of a Professional Engineer, licensed in the State of Tennessee, to design the retaining walls indicated. The retaining wall design engineer shall verify all existing topography and soil conditions and shall analyze the proposed finished grades to determine the appropriate wall design. Any changes to proposed finished grades required by retaining wall design and/or construction shall be submitted to LDS for review to determine their impact upon the grading and drainage design. All finished earth slopes shall be no steeper than 2:1 unless approved by a licensed Geotechnical Engineer. All finished earth slopes shall be covered with permanent vegetation to prevent erosion.
2. Top and bottom elevations of retaining walls shown on these plans are for finished grading purposes. Actual bottom of wall elevations are generally lower than the finished grade shown on this plan. See wall construction drawings for wall details. Top and bottom elevation shown do not account for wall batter.
3. Owner shall be responsible for design and installation of safety barriers (fence or other), warning/hazard signs, and any other required safety devices behind all retaining walls. Owner shall be responsible for meeting all codes and obtaining all required approvals.

Legend

	BENCHMARK
	PROPERTY FENCE
	EXISTING BUILDING EDGE
	EXISTING TREE LINE
	EXISTING TREE
	EXISTING CURB LINE
	EXISTING CATCH BASIN
	EXISTING HEADWALL
	EXISTING STORM LINE
	EXISTING WATER LINE
	EXISTING WATER VALVE
	EXISTING WATER METER
	EXISTING FIRE HYDRANT
	EXISTING SANITARY MAIN
	EXISTING SANITARY MANHOLE
	EXISTING GAS MAIN
	EXISTING GAS VALVE
	EXISTING UNDERGROUND FIBER OPTIC LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING UNDERGROUND TELEPHONE LINE
	EXISTING OVERHEAD LINE
	EXISTING POWER POLE
	EXISTING LIGHT POLE
	EXISTING CONTOURS

No.	Date	Revision	Revisions per Owner/Arch	Revisions per City of Knoxville Comments
1	8/27/18			
4	11/2/18			



Drawn By	CDB
Checked	EJB
Approved	EJB
Job No.	218023
1"=20'	8-13-18
Scale	Date