

# BOARD OF ZONING APPEALS

**NAME OF APPLICANT** Mary Phillips **FILE NO.** 7-C-18-VA

The applicant is:  Owner  Tenant  Contractor  Other \_\_\_\_\_

**This is a request for:**

- Zoning Variance (Building Permit Denied)  Extension of Non-Conforming Use  
 Appeal of Administrative Official's Decision  Map Interpretation

**PROPERTY INFORMATION**

Street Address 424 Kituwah Trail		<input type="checkbox"/> Temporary <input checked="" type="checkbox"/> Official
Zoning District R1	Zoning Map Number 108	
Ward and Block 24/24740	Lot/Parcel 6/108IG006	

This proposal pertains to:  New Structure  Extension of Existing Structure  Off-Street Parking  
 Signage  Other \_\_\_\_\_

Is a plat required?  Yes  No

**DESCRIPTION OF PROPOSAL**

Owner wants to build a new house. The house will need a front yard variance from 25' to 12'.

Describe specific ways in which this proposal fails to meet the requirements of the City of Knoxville Zoning Ordinance (please reference Section/Article of the Ordinance):

Reduce the front yard setback in an R1 zone from 25' to 12' as per Article 4, Section 2.1.1.E.1.a.

**CITY OF KNOXVILLE BUILDING INSPECTOR** Brandon L. **DATE** 06/14/18

7-C-18-VA

**APPLICANT'S HARDSHIP**

Which special circumstance(s) of the property do not apply generally in the zoning district?

Size  Elevation  Slope  Shape  Soil  Subsurface  Other \_\_\_\_\_

What legal hardship(s) prevents any reasonable use of your land under the terms of the Zoning Ordinance?

*Due to the irregular shape and the slope of the lot, I need this variance in order to have access to my garage*

I affirm that the hardship described above was not created by anyone having an ownership interest in the property since 1962.  Yes  No If answering no, explain: \_\_\_\_\_

Are the conditions on your property the result of other man-made changes (such as the relocation of a road or highway)?  No  Yes If answering yes, describe: \_\_\_\_\_

**APPLICANT'S AUTHORIZATION**

I hereby certify that I am the authorized applicant, representing ALL property owners involved in this request or holders of options on same, as listed below.

Signature: *Mary Phillips*

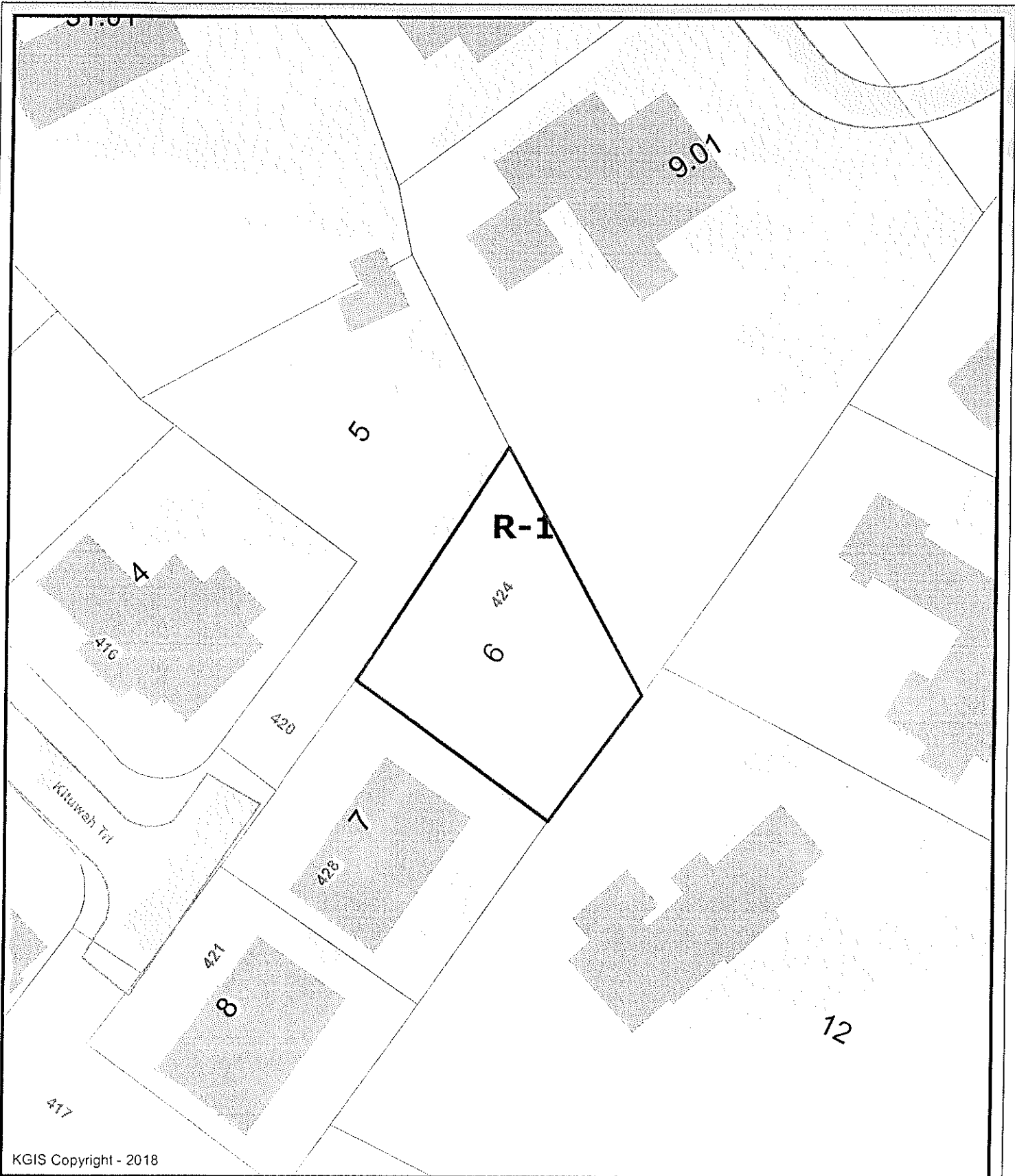
Address to which all correspondence should be mailed regarding this application:

Name (Print) Street Address City State Zip Telephone  
*Mary Phillips 920 Ashbrooke Way #1122 Knoxville TN 37923 615-414-0526*

Names of all property owners or holders of option on same must be listed here:

Name (Print) Street Address City State Zip Telephone  
*Mary Phillips 920 Ashbrooke Way #1122 Knoxville TN 37923 615-414-0526*

Date Filed: <i>6/15/18</i>	Fee Paid: <i>\$250.00</i> <i>RLH</i>
Councilmanic District: <i>2</i>	MPC Planning Sector: <i>West City</i>
General Location Description	
Size: Acres	Size: Sq. Ft.
<b>METROPOLITAN PLANNING COMMISSION</b>	
<b>DATE</b>	



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Mary Phillips

424 Kituwah Trail

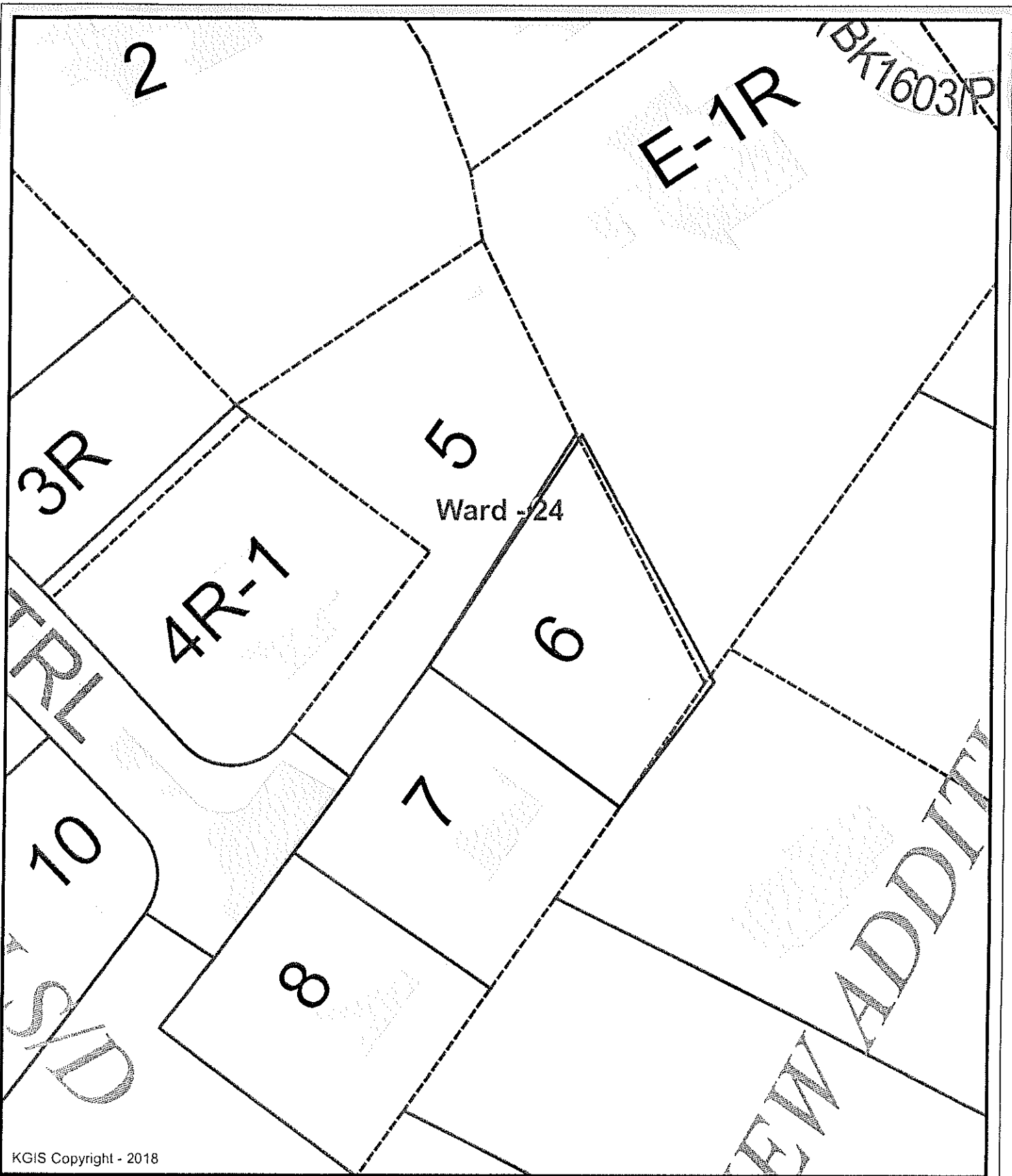
7-C-18-VA

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424 Kituwah Trail

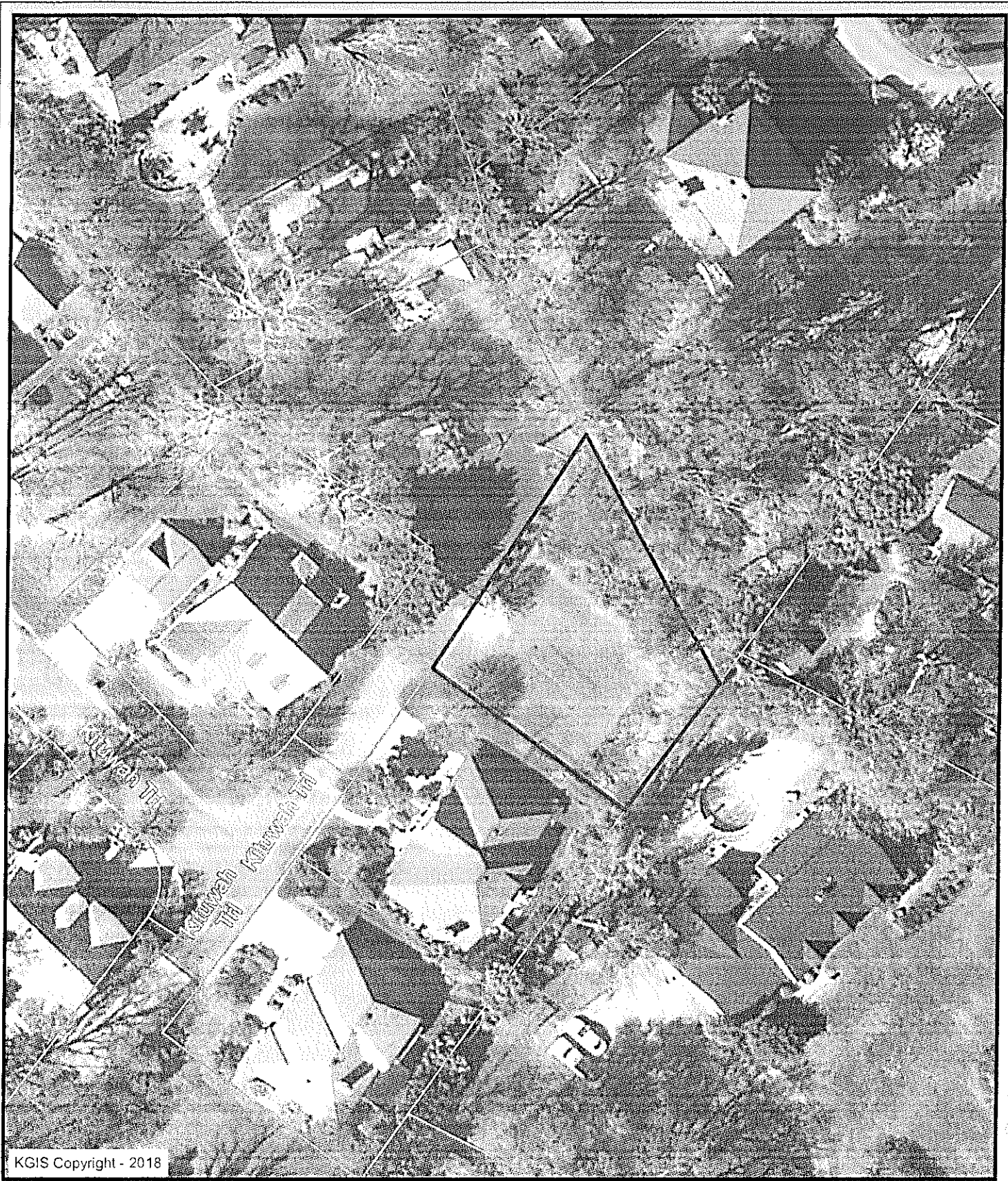
7-C-18-VA

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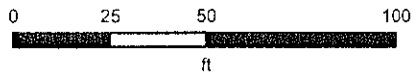


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424 Kituwah Trail  
7-C-18-VA

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July 9, 2018

Mr. Scott Elder  
Board of Zoning Appeals  
Room 505, City-County Building  
P. O. Box 1631  
Knoxville, Tennessee 37901

Dear Mr. Elder:

**Re: Variance Requests 7-A-18-VA, 7-B-18-VA, 7-C-18-VA, 7-D-18-VA, 7-E-18-VA, 7-F-18-VA, 7-G-18-VA, 7-H-18-VA, 7-J-18-VA, 7-K-18-VA, 7-L-18-VA, and 7-M-18-VA**

We have reviewed our records and, as far as we have been able to determine, KUB has no existing utility facilities located within the variance areas and we have no objection to the requested variances. However, KUB does not release and hereby retains all easements and rights for existing facilities, whether or not identified in our research.

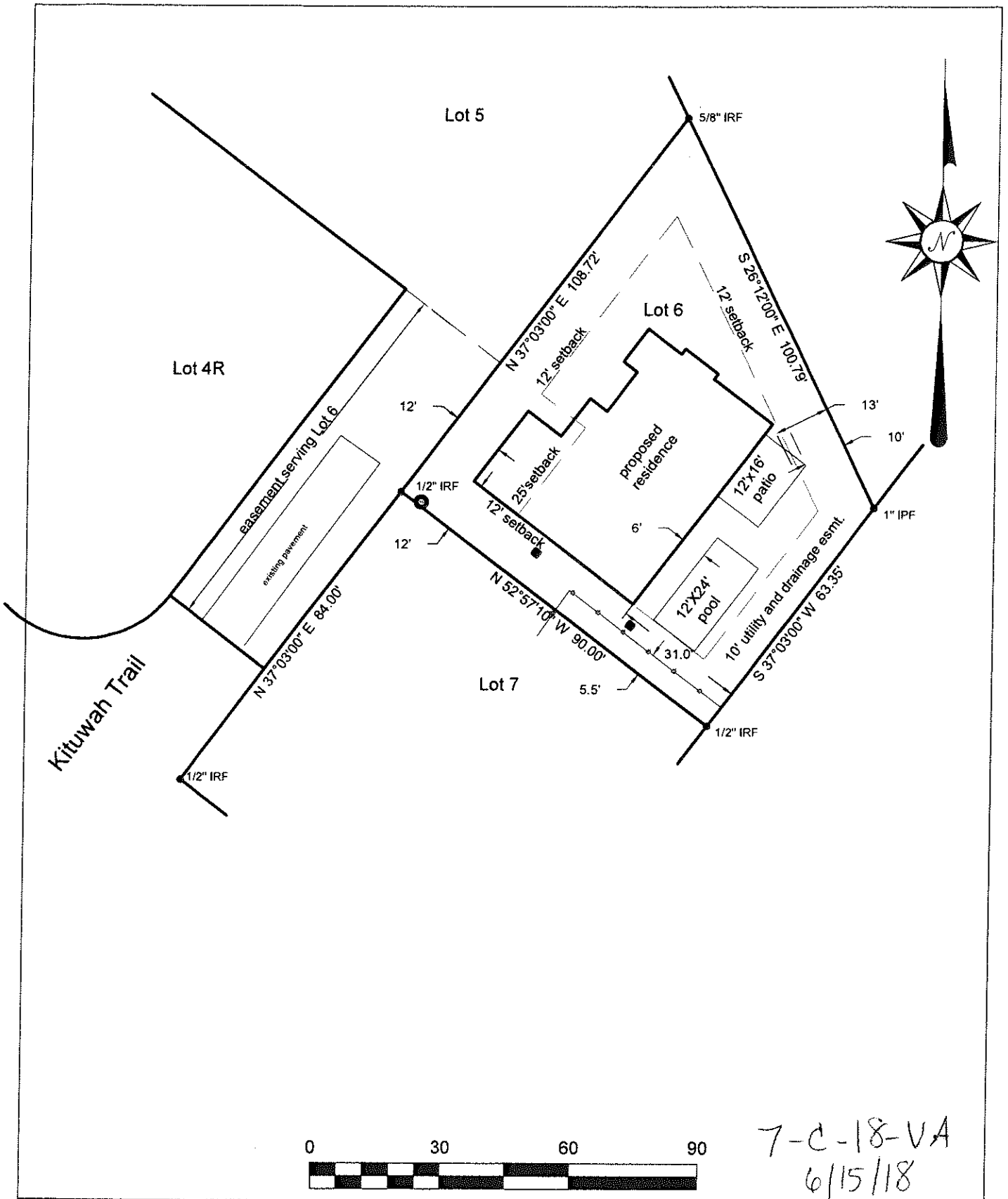
If you have any questions regarding this matter, please call me at (865) 558-2483.

Sincerely,



Christian G. Wiberley  
Engineering

CGW



7-C-18-VA  
6/15/18

Parcel ID 108IG006 Plat P 2C Deed 20180420-0062142	Lot 6 Sequoyah Mary Phillips (owner)		<b>Site Plan</b>		FIGURE
	DRAWN	DATE 5-29-18	APPROVED	SCALE 1" = 30'	PROJECT NOSmidly Kituwah