

File #

3-J-19-VA



# BOARD OF ZONING APPEALS APPLICATION

APPLICANT INFORMATION	APPLICANT IS:	THIS PROPOSAL PERTAINS TO:
Name 1408 Boyd LLC	Owner <input checked="" type="checkbox"/>	New Structure <input checked="" type="checkbox"/>
Street Address 322 Douglas Avenue	Contractor <input checked="" type="checkbox"/>	Modification of Existing Structure <input type="checkbox"/>
City, State, Zip Knoxville, Tennessee 37921-4813	Tenant <input type="checkbox"/>	Off Street Parking <input checked="" type="checkbox"/>
Phone Number 865*607-4357	Other <input type="checkbox"/>	Signage <input type="checkbox"/>
Email marlowpropertiesllc@gmail.com		Other <input type="checkbox"/>

## THIS IS A REQUEST FOR:

- ☒ Zoning Variance (Building Permit Denied)
 ☐ Extension of Non-Conforming Use/or Structure  
☐ Appeal of Administrative Official's Decision
 ☐ Map Interpretation

## PROPERTY INFORMATION

Street Address ~~1408 Boyd Street~~ "O Boyd St" Pending final address  
 City, State, Zip Knoxville, Tennessee 37921  
 Parcel # (see KGIS.org) 094FP020  
 Zoning District (see KGIS.org) R1A

## VARIANCE REQUIREMENTS

### City of Knoxville Zoning Ordinance Article 7, Section 2

The City of Knoxville Board of Zoning Appeals shall have the power and authority to grant variances from terms of this ordinance according to the procedure and under the restrictions set out in this section.

The purpose of the variance is to modify the strict application of the specific requirements of this ordinance in the case of exceptionally irregular, narrow, shallow or steep lots, or other exceptional physical conditions, whereby such strict application would result in practical difficulty or unnecessary hardship which would deprive an owner of the reasonable use of his land. The variance shall be used only where necessary to overcome some obstacle which is preventing an owner from using his property as the zoning ordinance intended.

## DESCRIPTION OF APPEAL

### Describe your project and why you need variances.

REQUEST: 1. Reduce front setback from 25' to 8.0 feet.

REQUEST 2. Eliminate the off-street parking requirement.

I propose to construct a single family dwelling, (2 beds and 1.5 baths) approx. 880 sq ft (16' x 55') on a lot that is 33.4' x 98.98'. The lot is small; it is elevated above the sidewalk by approx. 4'.

The original house next door is approx. 9.5 feet front setback; the original house at 1412 Boyd has front setback approx. 15.6' and the original house at 1418 Boyd has front setback approx. 4.8'. Reducing the setback to 8.0' will keep the original aesthetics along this block (the only exceptions being the newer construction homes at 1400 and 1416 Boyd which is set back approx. 15'). This also permits a useable backyard of approx. 35'.

6 by variances 7/20/00

### Describe hardship conditions that apply to this variance.

Front Set Back: The narrow lot requires a narrow and long house. A reduced front setback will keep the historical perspective/scale of housing along Boyd Street and will allow a useful sized backyard

Driveway/parking: The lot is merely 32.4 feet wide. The grade of the lot is approx. 4' above the sidewalk grade behind a retaining wall. It does not have alley access.

## APPLICANT AUTHORIZATION

I hereby certify that I am the authorized applicant, representing ALL property owners involved in this request and that all owners have been notified of this request in writing.

APPLICANT'S SIGNATURE

DATE 1 March 2019

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CITY OF KNOXVILLE

**BOARD OF ZONING APPEALS APPLICATION**

\*\*\*\*\*OFFICE USE ONLY\*\*\*\*\*

Is a plat required? Yes ☒ No ☐

Small Lot of record? ☒

**VARIANCE REQUEST(S) WITH ORDINANCE CITATION(S):**

1. Reduce the minimum required front yard setback from 25 feet to 8 feet per Article 4, Section 2.1.2.D.1.a.
2. Reduce the minimum number of required parking spaces from 2 spaces to 0 spaces per Article 5, Section 7.D.1.Table 1.

**PROJECT INFORMATION**

Date Filed 3-1-19

Fee Amount \$250.00

PA 3/1/19 \$250 OK JF

Council District 6th

BZA Meeting Date 3-21-19

PLANS REVIEWER Scott Elder

DATE 3-5-19



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1408 Boyd St.  
1408 Boyd, LLC.  
3-J-19-VA

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**1408 Boyd St.**

1408 Boyd, LLC.

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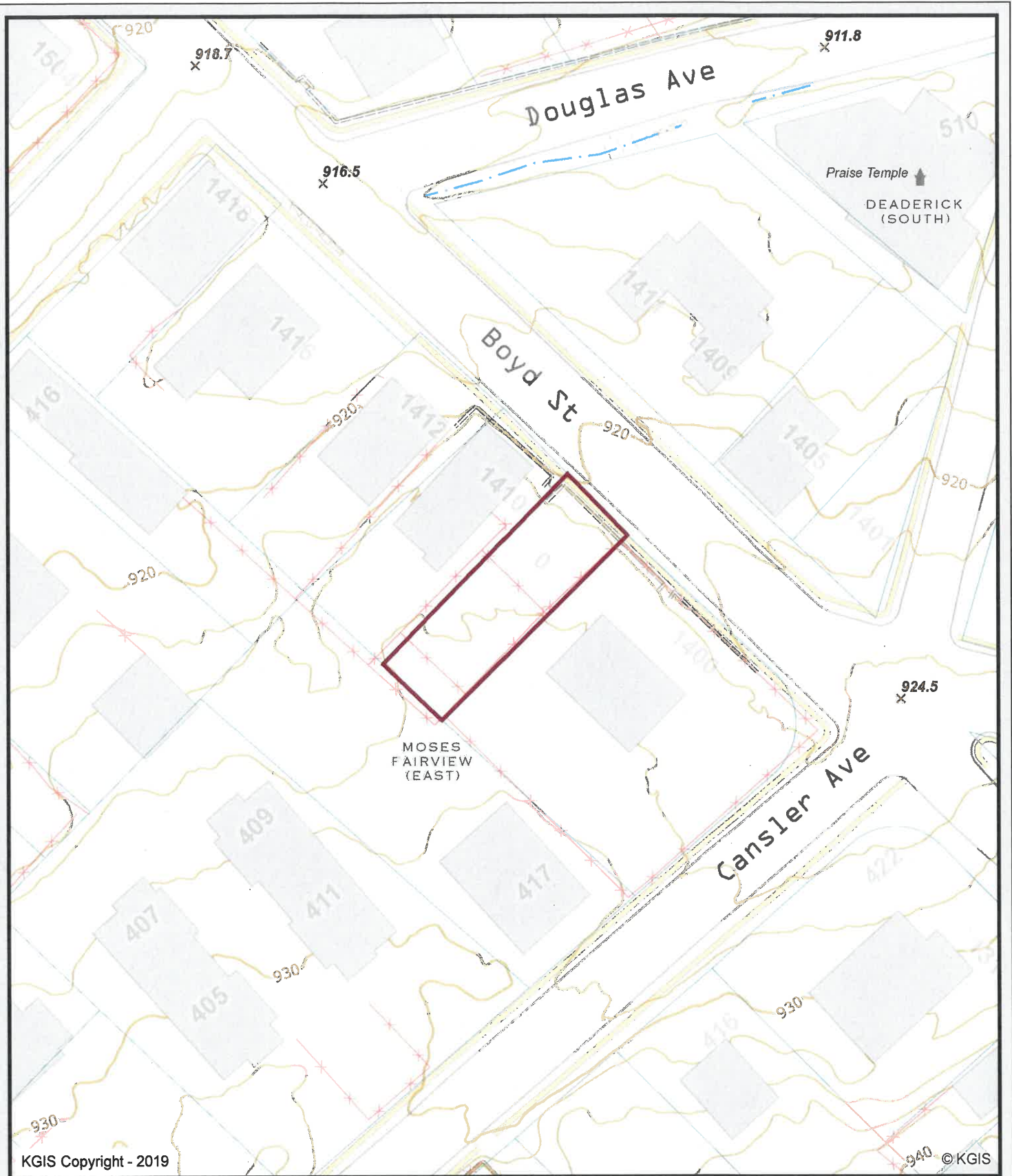
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1408 Boyd, LLC

1408 Boyd St.

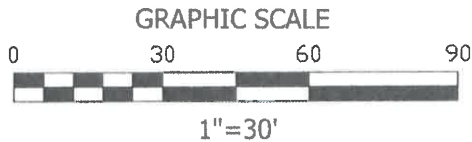
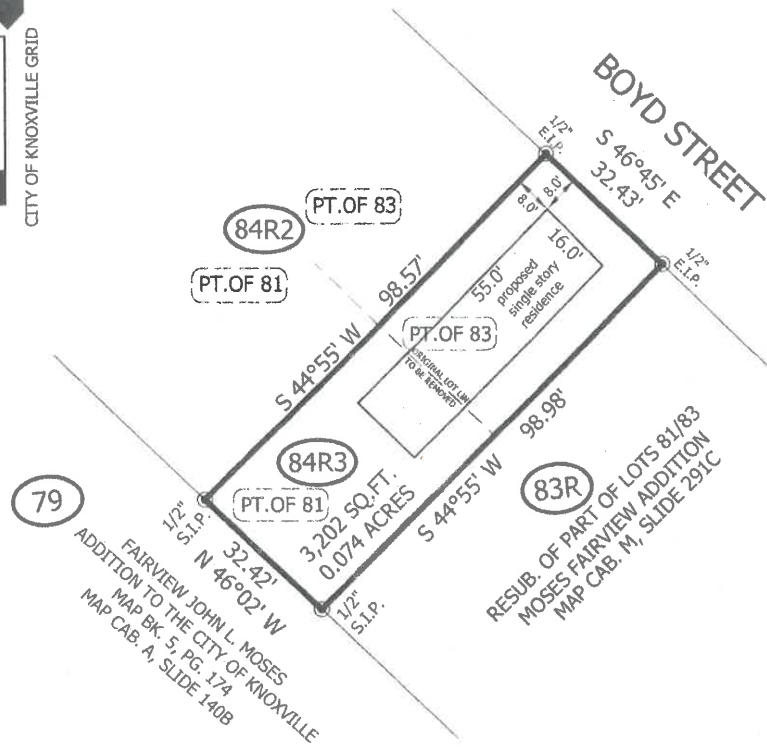
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### PLOT PLAN

I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN MADE USING THE LATEST RECORDED DEED, THAT THERE ARE NO ENCROACHMENTS OR PROJECTIONS OTHER THAN THOSE SHOWN, AND THAT THE SURVEY IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND THAT THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1 : 10,000. THIS SURVEY WAS DONE IN COMPLIANCE WITH CURRENT TN MIN. STANDARDS OF PRACTICE.

TRACY WIDNER

R.L.S. TN. NO. 2115



PLOT PLAN

3-J-19-VA