

File #

5-A-19-VA



CITY OF KNOXVILLE

BOARD OF ZONING APPEALS APPLICATION

APPLICANT INFORMATION

Name William McGhee

Street Address 3419 Greentree

City, State, Zip Knoxville, tn 37931

Phone Number 865-386-5955

Email william@mcgheecc.com

APPLICANT IS:

Owner ☐Contractor ☒Tenant ☐Other ☐

THIS PROPOSAL PERTAINS TO:

New Structure ☒Modification of Existing Structure ☐Off Street Parking ☐Signage ☐Other ☐

THIS IS A REQUEST FOR:

☒ Zoning Variance (Building Permit Denied)☐ Appeal of Administrative Official's Decision☐ Extension of Non-Conforming Use/or Structure☐ Map Interpretation

PROPERTY INFORMATION

Street Address 4100 Apex

City, State, Zip Knoxville, TN 37919

Parcel # (see KGIS.org) 107EC012

Zoning District (see KGIS.org) R-2

VARIANCE REQUIREMENTS

City of Knoxville Zoning Ordinance Article 7, Section 2

The City of Knoxville Board of Zoning Appeals shall have the power and authority to grant variances from terms of this ordinance according to the procedure and under the restrictions set out in this section.

The purpose of the variance is to modify the strict application of the specific requirements of this ordinance in the case of exceptionally irregular, narrow, shallow or steep lots, or other exceptional physical conditions, whereby such strict application would result in practical difficulty or unnecessary hardship which would deprive an owner of the reasonable use of his land. The variance shall be used only where necessary to overcome some obstacle which is preventing an owner from using his property as the zoning ordinance intended.

DESCRIPTION OF APPEAL

Describe your project and why you need variances.

Setback changed from 25' to 15' on corner side for new proposed single family residence. This is a corner lot. Setback is 5' on interior side and 25' on corner. The lot is 40' wide leaving 10' to build on. I need minimum 20' for house to fit. Needing to change setback to 5' on interior and 15' on corner side.

Describe hardship conditions that apply to this variance.

The size of lot with required setback only allows for 10' wide house because it is on a corner lot. The lot is 40' wide. I need minimum 20' for house to fit.

APPLICANT AUTHORIZATION

I hereby certify that I am the authorized applicant, representing ALL property owners involved in this request and that all owners have been notified of this request in writing.

APPLICANT'S SIGNATURE

DATE

4/1/19

File # 5-A-19-VA



CITY OF KNOXVILLE

BOARD OF ZONING APPEALS APPLICATION

*******OFFICE USE ONLY*******

Is a plat required? Yes ☐ No ☒

VARIANCE REQUEST(S) WITH ORDINANCE CITATION(S):

Reduce the required front yard setback on Washburn Rd from 25' to 15' per Article IV, Section 2.1.6.D.1.a.

To build a new single family residence on a corner lot.

PROJECT INFORMATION

Date Filed 4-1-19

Fee Amount \$250

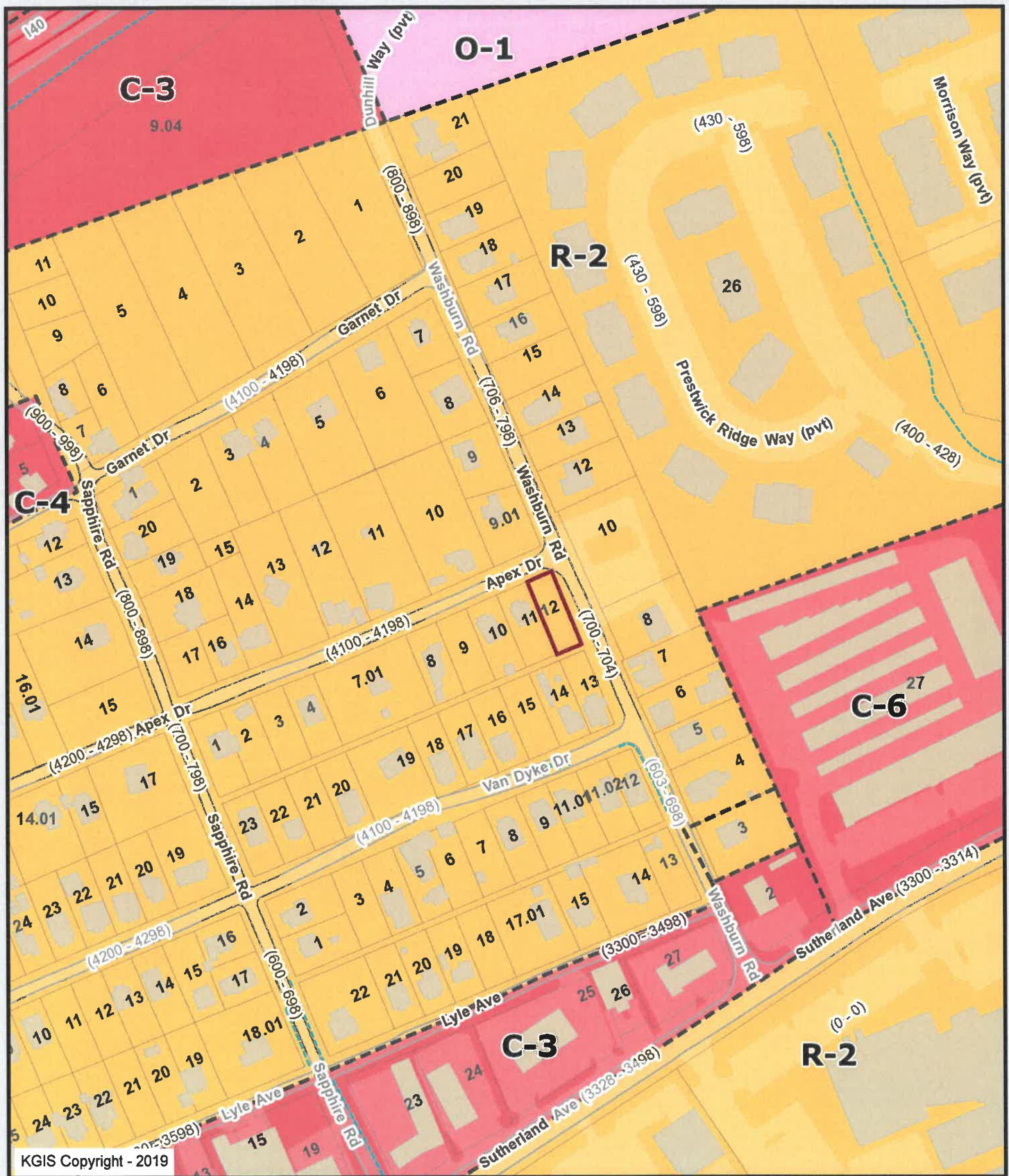
Council District 1

BZA Meeting Date 5-16-19

PLANS REVIEWER Rebecca Johnson

DATE 4-1-19

REVISED



4100 Apex Dr.

William McGhee
5-A-19-VA

Knoxville - Knox County - KUB Geographic Information System



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William McGhee
5-A-19-VA

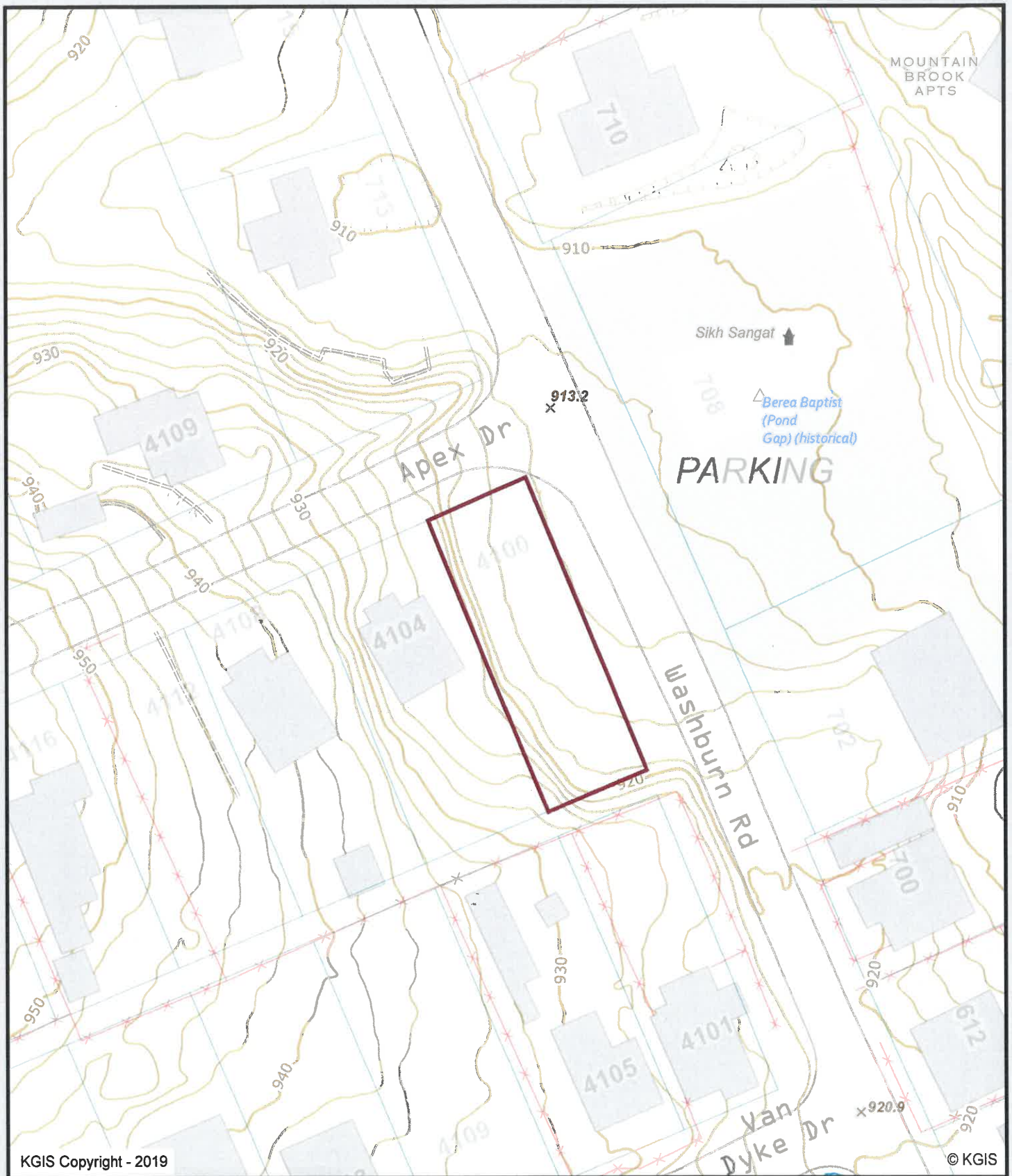
Knoxville - Knox County - KUB Geographic Information System



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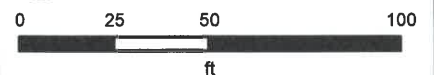
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William McGhee
5-A-19-VA

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APEX DRIVE - 40' RIGHT-OF-WAY

WASHBURN ROAD - 40' RIGHT-OF-WAY

LOT 143

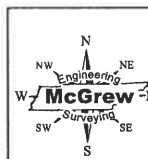
LOT 145
±0.11 Ac.
4,800.00 Sq. Feet

10' ALLEY

LEGEND

THESE STANDARD SYMBOLS WILL
BE FOUND IN THE DRAWING.

- PROPERTY CORNER
- PROPERTY LINE
- - - ADJOINING PROPERTY LINE
- - - EXISTING BUILDING SETBACK LINE
- - - PROPOSED BUILDING SETBACK LINE
- ▨ PROPOSED HOUSE



SITE PLAN FOR MCGHEE CONSTRUCTION

SITE PLAN OF LOT 145 OF THE B.H.
SPRANKLES SECOND ADDITION TO WEST
KNOXVILLE IN THE FIFTH CIVIL DISTRICT
OF KNOX COUNTY, TN

353 N. CULLUM ST. CLINTON, TN. 37716
PHONE : (865) 457-1664 FAX : (865) 463-7609
EMAIL : mcgreweng@gmail.com

DRAWN BY:	LEB
APPROVED BY:	GAM
SCALE:	1" = 10'
DATE:	3-22-19
DRAWING NO:	MKV-4581A

5-A-19-VA



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YOUR CITY OR STATE MAY REQUIRE THAT YOU HAVE A CERTIFIED ARCHITECT OR ENGINEER APPROVE YOUR PLANS AND AFFIX HIS SEAL TO THE PLANS FOR SAFETY REASONS OR PARTICULAR REGULATIONS.

CLIENT INFO
TYSON CARICO
7640 CRANLEY RD
POWELL
TN, US 37848-3746
(865) 415-8872

REVISION
NO DATE BY

STAMP:

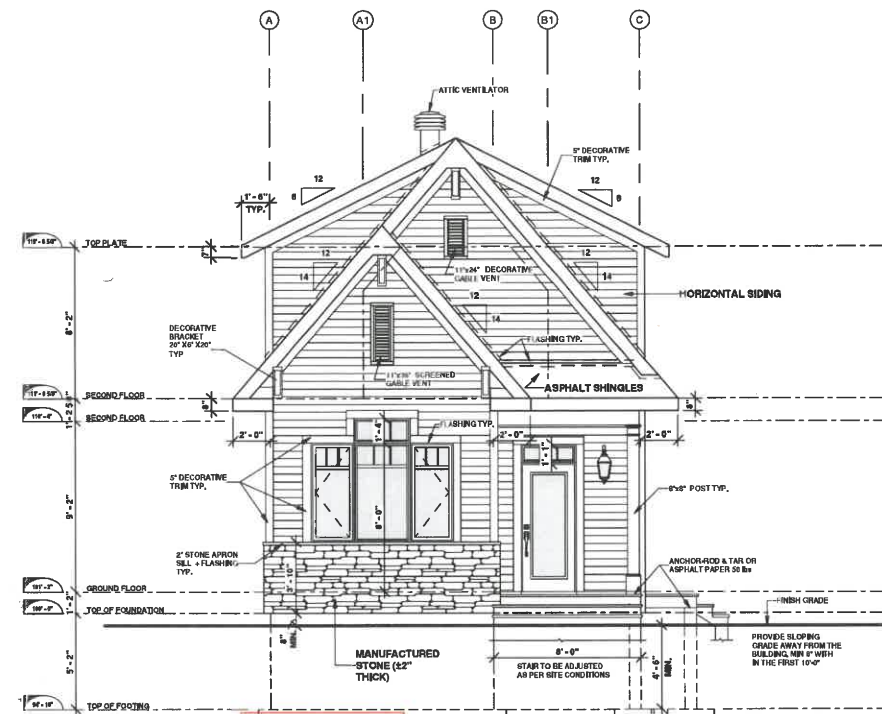
PROJECT INFO
NEW CONSTRUCTION
(COURTSHIP)

DRAWING
FRONT & RIGHT ELEVATION

DESIGNED BY S.M. DRAWN BY V.S.T. CHECKED BY V.B.
DATE 16/09/16 SCALE 1/4" = 1'-0"
PLAN NO. 1908 SHEET NO. 1-7

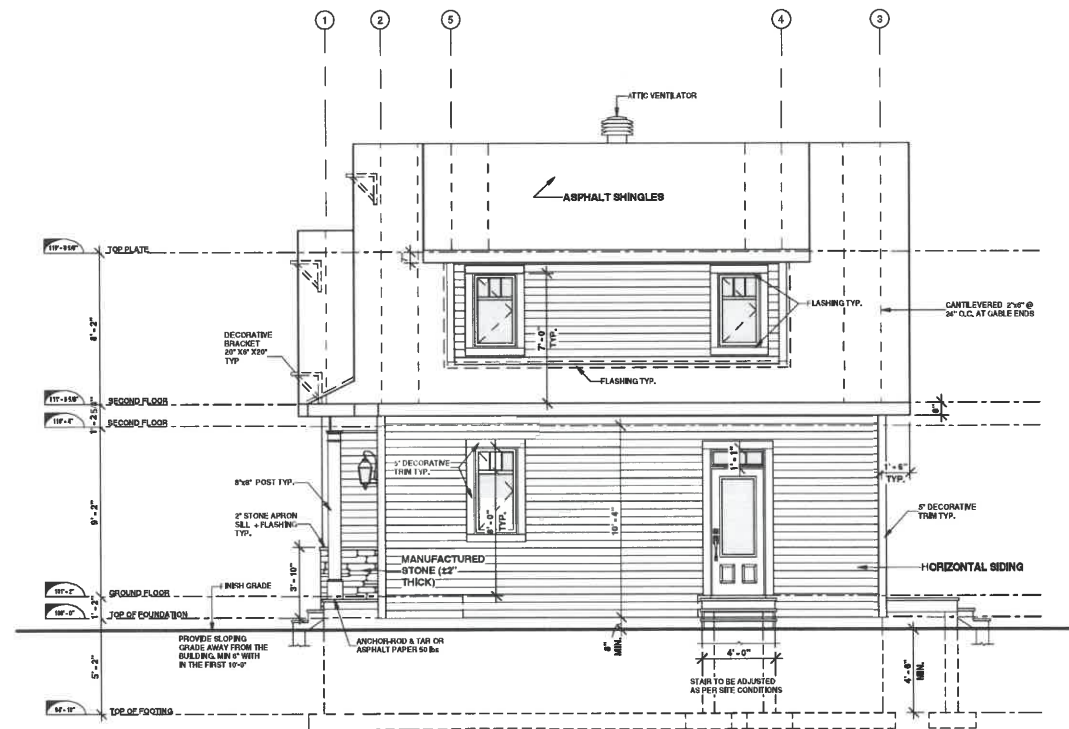
AREA	SCHEDULE	SQ. FT.
GROUND FLOOR		578
SECOND FLOOR		357
BASEMENT		
TOTAL		945
OTHER		
BEDROOM		
GARAGE		

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FRONT ELEVATION

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RIGHT ELEVATION

V:\7415-1908-16

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CLIENT INFO
TYSON CARICO
7840 CRANLEY RD
POWELL
TN, US 37846-3746
(865) 415-8972

REVISION
NO DATE BY

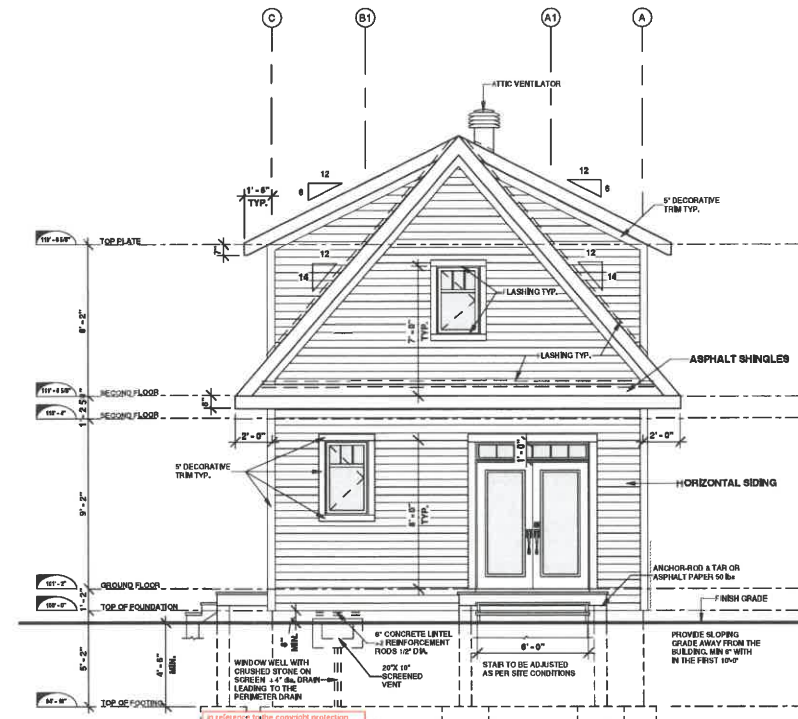
PROJECT INFO
NEW CONSTRUCTION
(CRANLEY)

DRAWING
LEFT & REAR ELEVATION

DESIGNED BY
DATE
PLAN NO.
9.M.
10/09/16
1908

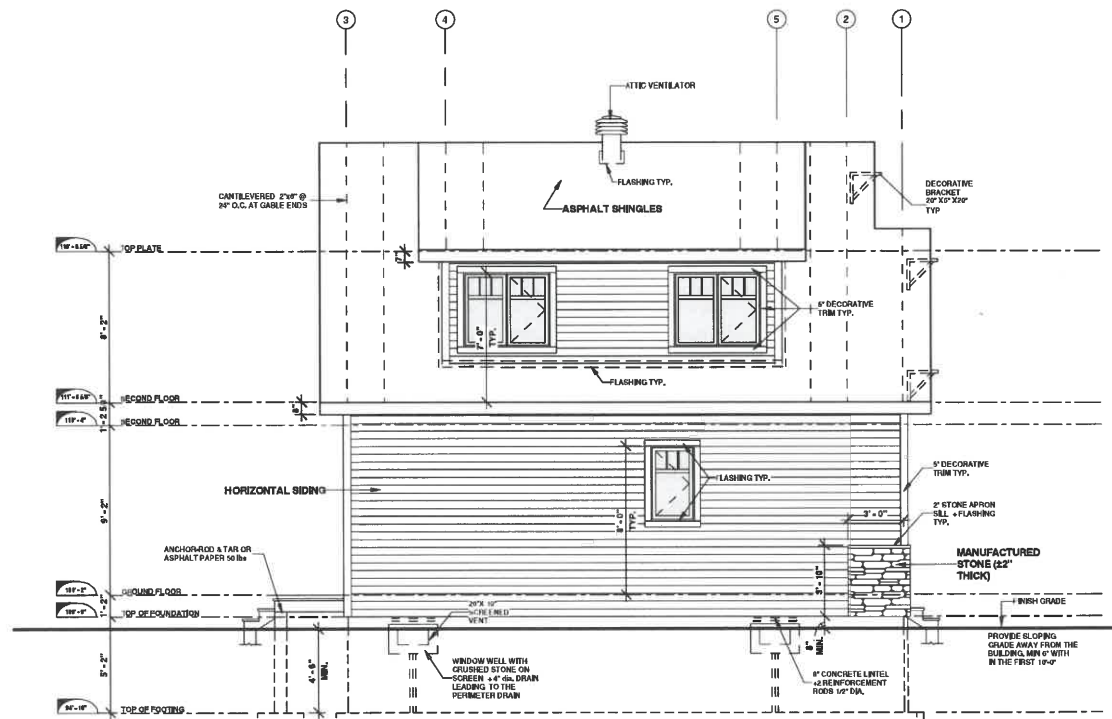
DRAWN BY
V.ST.-L.
SCALE
1/4" = 1'-0"

CHECKED BY
V.R.
SHEET NO.
2-7



REAR ELEVATION

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LEFT ELEVATION

VP143-160916

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POWELL, TN 37846-3746
(865)415-8872

REVISION	NO.	DATE	BY

PROJECT INFO:

NEW CONSTRUCTION
(CRAWLSPACE)

DRAWING

FOUNDATION PLAN

DESIGNED BY	DRAWN BY	CHECKED BY
S.M.	V.S.T.-L	V.R.

DATE	SCALE	See Plan
10/09/16		

PLAN NO.	SHEET NO.
1908	3-7

GENERAL NOTES:

1) VERIFY ALL DIMENSIONS BEFORE PROCEEDING.

2) RESPECT REQUIREMENTS OF DOCUMENTATION ATTACHED TO PLANS (EX. SPECIFICATIONS, VENTILATION PLAN, ETC.) AND INFORM THE CLIENT OF ANY CONSEQUENCES RESULTING FROM CHANGES TO PLANS IF APPLICABLE.

3) CERTAIN DIMENSIONS MAY VARY ACCORDING TO THE MATERIAL USED AND/OR THE CONTRACTOR'S BUILDING METHOD. IF VARIATIONS EXIST BETWEEN THE BUILDING SITE AND PLANS, THE CONTRACTOR MUST ADVISE DRUMMOND DESIGN INC. AS SOON AS POSSIBLE.

4) WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALE MEASUREMENTS.

5) INFORM IMMEDIATELY DRUMMOND DESIGN INC. IMMEDIATELY OF ANY OMISSIONS OR ERRORS ON THESE PLANS.

IMPORTANT NOTES:

1) APPLICATION OF WOOD PRESERVATIVE REQUIRED AT EXTERIOR END OF ALL ELEMENTS SUPPORTED ON MASONRY WALLS.

2) AS PRECAUTION, A FIREPROOF LINER SHOULD BE INSTALLED BETWEEN FIREBOX OR PREFABRICATED FIREPLACE AND COMBUSTIBLE FRAMING.

3) MINIMUM FOUNDATION DEPTH BELOW FINISHED GRADE IS 4'-0". THIS DEPTH MAY VARY ACCORDING TO LOCAL CODES REQUIREMENTS.

4) END OF STEEL BEAMS SUPPORTED ON EXTERIOR WALL SHALL BE INSULATED ON A MINIMUM LENGTH OF 2'-0".

5) TO PROTECT AGAINST FROST HEAVE ON ALL CONCRETE FOUNDATIONS, WALLS, PLASTER AND CONCRETE ANGLES, MUST BE COVERED WITH EITHER A PROTECTIVE MEMBRANE, 15 LBS ASPHALT PAPER, POLYETHYLENE, RIGID INSULATION OR 1/2" TAR FRESHING.

6) 2" MINIMUM SPACE REQUIRED BETWEEN THE ROOF AREA AND MOISTURE SENSITIVE EXTERIOR FACING.

7) THE WINDOW DIMENSIONS DESCRIBED IN THIS PLAN MAY VARY DEPENDING ON THE CHOSEN MANUFACTURER.

8) GARMENT WINDOWS BELOW GRADE WILL BE PROTECTED BY GALVANIZED STEEL WINDOW WELLS, AND GRAVEL-FILLED 4" DRAIN, CONNECTED TO PERIMETER DRAIN AND INSTALLED ACCORDING TO THIS PLAN.

9) ALL VAPOR BARRIERS INDICATED IN THIS PLAN SHOULD BE SEALED, WHEN THEY ARE OVER LAPPED AND AROUND OPENINGS.

10) IT IS IMPORTANT THAT A PIECE OF VAPOR BARRIER IS INSTALLED BEHIND THE ELECTRICAL PANEL ON AN EXTERIOR WALL, AND SHOULD BE SEALED WITH THE MAIN VAPOR BARRIER.

STRUCTURAL NOTES:

1) FRAMING LUMBER (BEAMS, LINTELS, JOISTS) TO BE GRADE NO 1 & 2 SPECIES UNLESS OTHERWISE INDICATED.

2) ALL LINTELS TO BE 2"x10" UNLESS OTHERWISE SPECIFIED.

3) ALL POST IN EXTERIOR WALL TO BE MIN. 3"x2" UNLESS OTHERWISE SPECIFIED.

4) ALL INTERIOR POSTS TO BE MIN. 3"x2" UNLESS OTHERWISE SPECIFIED.

5) THE TRUSS MANUFACTURER MUST VERIFY ALL DIMENSIONS TO CHECK FOR CONFORMANCE WITH WHOLE PLAN. SOME DIMENSIONS MAY REQUIRE MODIFICATIONS FOLLOWING MANUFACTURER'S DESIGN.

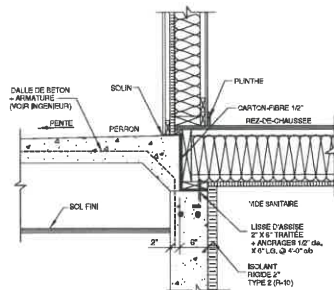
6) TEMPORARY AND PERMANENT TRUSS BRACING MUST BE INSTALLED AS PER TRUSS MANUFACTURER AND CODE REGULATIONS.

7) THE PLYWOOD PANELS MAY BE REPLACED BY AN ORIENTED STRONG BOARD PANEL (OSB) OR EQUIVALENT.

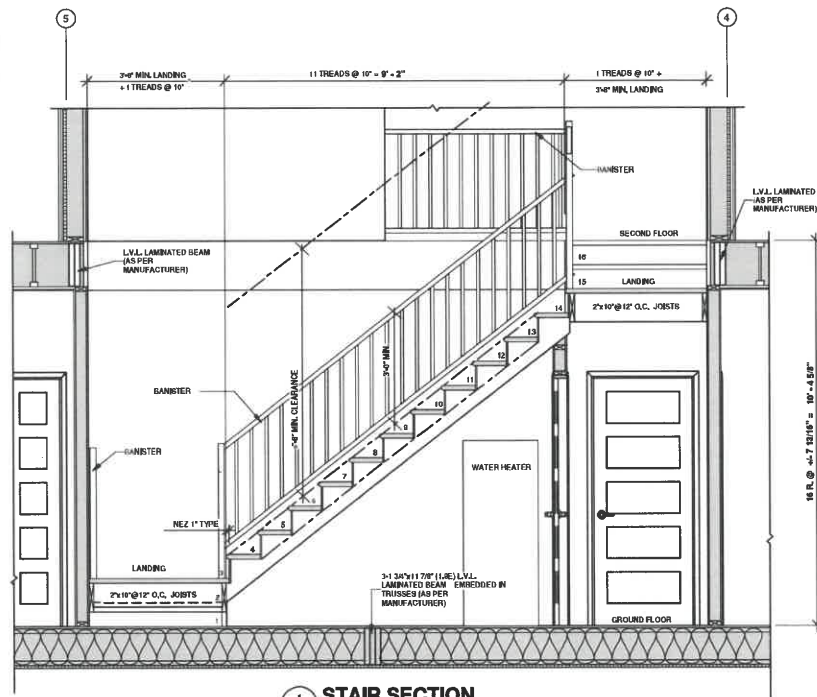
8) PROVIDE BRACING IN ALL EXTERIOR WALL CORNERS. BRACING CAN BE MADE OF 1"x4" PLYWOOD, 1"x4" OSB OR STEEL BRACING INSTALLED AT 45° ANGLE.

9) IN A MASONRY WALL, THE HORIZONTAL STEEL CLAMPS ARE TO BE PLACED AT A MAX. 3'-0" SPACING, THE VERTICAL ONES AT 1'-0" MAX. THE SIZE OF THE STEEL LINTELS (OVER OPENING) TO BE DETERMINED BY THE MANUFACTURER.

10) IF IT IS RECOMMENDED THAT A 5/8" GYPSUM BOARD ON A 1"x2" FURRING @ 16" O.C. BE INSTALLED ON THE BASEMENT CEILING TO INCREASE THE FIREPROOFING.

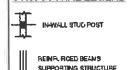


2 COUPE
3 SANS ECHELLE



1 STAIR SECTION
4 SCALE: 1/2" = 1'-0"

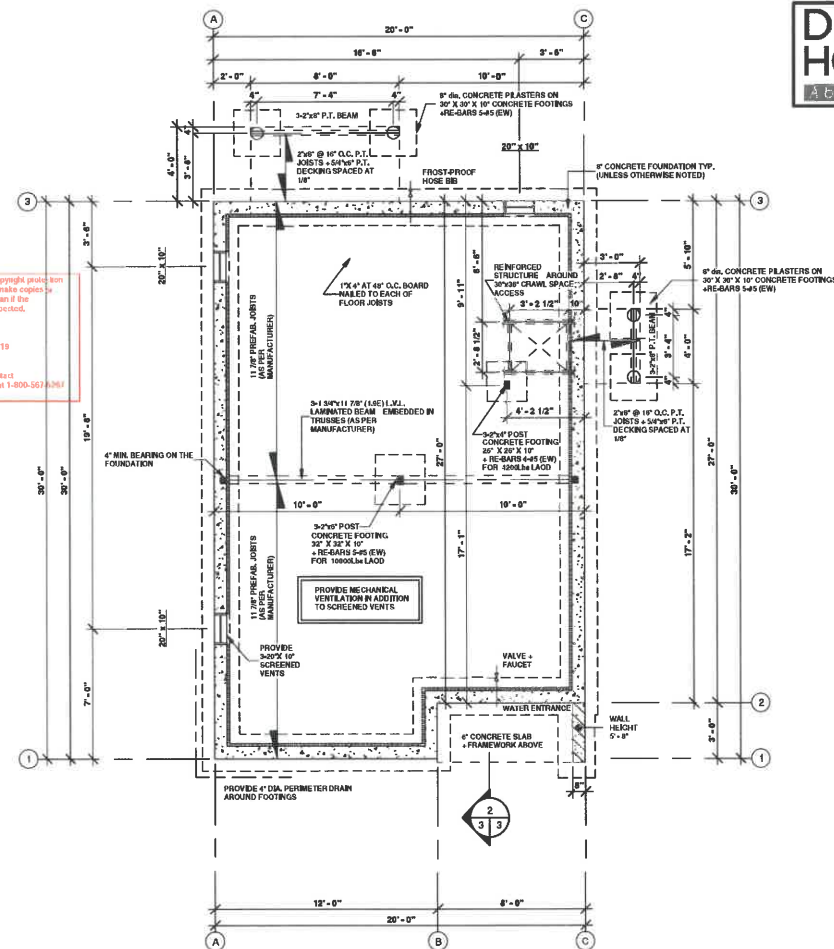
STRUCTURAL LEGEND



ABBREVIATION

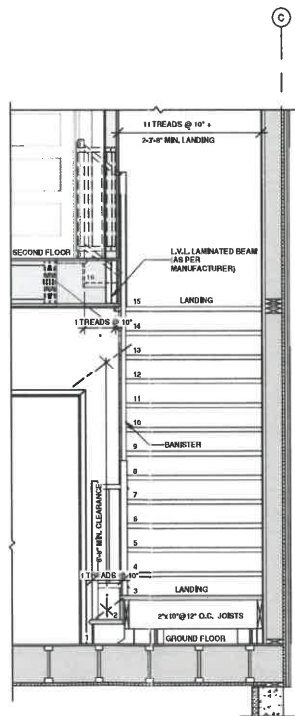
W.L. WINDOW
M.W. MASONRY WALL
M.P. MASONRY PIER
M.D. MASONRY DOOR
M.S. MASONRY SILL

CROSS SECTION



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

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TYSON CARICO
7640 CRANLEY RD
POWELL
TN, US 37949-3746
(865)415-8872

REVISION	NO	DATE	BY

STAMP BY:	
-----------	--

PROJECT INFO:
NEW CONSTRUCTION
(CONSTRUCTION)

DESIGNED BY	DRAWN BY	CHECKED BY
S.M.	V.ST-L	V.P.
DATE	SCALE	
10/09/16	1/4" = 1'-0"	
PLAN NO.	SHEET NO.	
1908	4-7	

GENERAL NOTES:

- BUILDING CONTRACTOR MUST:
 - 1) VERIFY ALL DIMENSIONS BEFORE PROCEEDING.

A RESPECT REQUIREMENTS OF DOCUMENTATION ATTACHED TO PLANS (EX SPECIFICATIONS, VENTILATION PLAN, ETC.) AND INFORM THE CLIENT OF ANY CONSEQUENCES RESULTING FROM CHANGES TO PLAN IF APPLICABLE.

CERTAIN DIMENSIONS MAY VARY ACCORDING TO THE MATERIAL USED AND/OR THE CONTRACTOR'S BUILDING METHOD. IF VARIATIONS EXIST BETWEEN THE BUILDING SITE AND PLANS, THE CONTRACTOR MUST ADVISE DRUMMOND DESIGNS INC. AS SOON AS POSSIBLE.

WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALE MEASUREMENTS.

INFORM IMMEDIATELY DRUMMOND DESIGNS INC. IMMEDIATELY OF ANY OMISSIONS OR ERRORS ON THESE PLANS.

IMPORTANT NOTES:

APPLICATION OF WOOD PRESERVATIVE REQUIRED AT EXTREMITIES OF BEAMS OR ELEMENTS SUPPORTED ON MASONRY WALLS.

AS PRECAUTION, A FIREPROOF LINER SHOULD BE INSTALLED BETWEEN FRESH OR PREPARED FRESH LACE AND COMBUSTIBLE FRAMING.

MINIMUM FOUNDATION DEPTH BELOW FINISHED GRADE IS 4'-0". THIS DEPTH MAY VARY ACCORDING TO LOCAL CODES REQUIREMENTS.

ENDS OF STEEL BEAMS SUPPORTED ON EXTERIOR WALL SHOULD BE ISOLATED ON A MINIMUM LENGTH OF 36".

TO PROTECT AGAINST FROST HEAVE ON ALL CONCRETE FOUNDATIONS, WALLS, PLASTER AND CONCRETE ANGLES, MUST BE COVERED WITH LAYER A PROTECTIVE MEASURE, IS LBS ASPHALT PAPER, POLYETHYLENE, HDPE INSULATION OR 1/2" TAR FIBERGLASS.

2" MINIMUM SPACE REQUIRED BETWEEN THE ROOF AREA AND MOST LINE SENSITIVE EXTERIOR FACING.

THE WINDOW DIMENSIONS DESCRIBED IN THIS PLAN MAY VARY DEPENDING ON THE CHOSEN MANUFACTURER.

BASMENT WINDOWS BELOW GRADE WILL BE PROTECTED BY GALVANIZED STEEL WINDOW WELLS, AND GRAVEL-FILLED 4" CHIMNEY CONNECTED TO PERIMETER DRAIN AND INSTALLED ACCORDING TO THIS PLAN.

ALL VAPOR BARRIERS INDICATED IN THIS PLAN SHOULD BE SEALED, WHEN THEY ARE OVER LAPPED AND AROUND OPENINGS.

IT IS IMPORTANT THAT A PIECE OF VAPOR BARRIER IS INSTALLED BEHIND THE ELECTRICAL PANEL ON AN EXTERIOR WALL, AND SHOULD BE SEALED WITH THE MAIN VAPOR BARRIER.

STRUCTURAL NOTES:

FRAMING LUMBER (BEAMS, LINTELS, JOIST) TO BE GRADE NO 1 & 2 SPRUCE UNLESS OTHERWISE INDICATED.

ALL LINTELS TO BE 2"x14" UNLESS OTHERWISE SPECIFIED.

ALL POST IN EXTERIOR WALL TO BE MIN. 2"x2" UNLESS OTHERWISE SPECIFIED.

ALL INTERIOR POSTS TO BE MIN. 2"x4" UNLESS OTHERWISE SPECIFIED.

THE TRUSS MANUFACTURER MUST VERIFY ALL DIMENSIONS TO CHECK FOR CONFORMANCE WITH WHOLE PLAN. SOME DIMENSIONS MAY REQUIRE MODIFICATIONS FOLLOWING MANUFACTURER'S DESIGN.

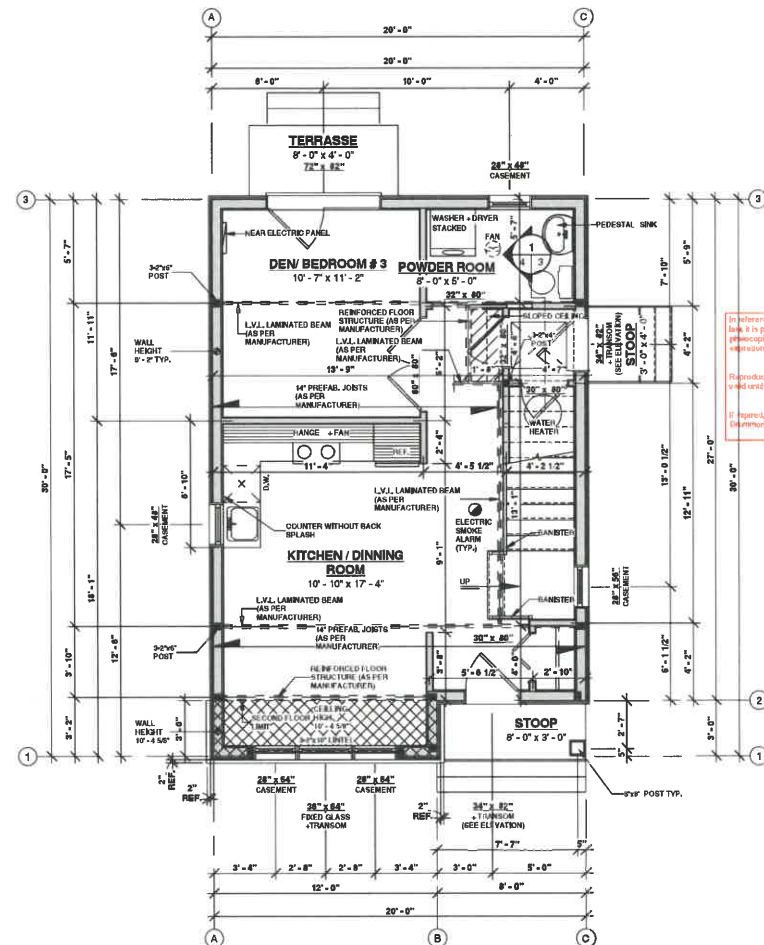
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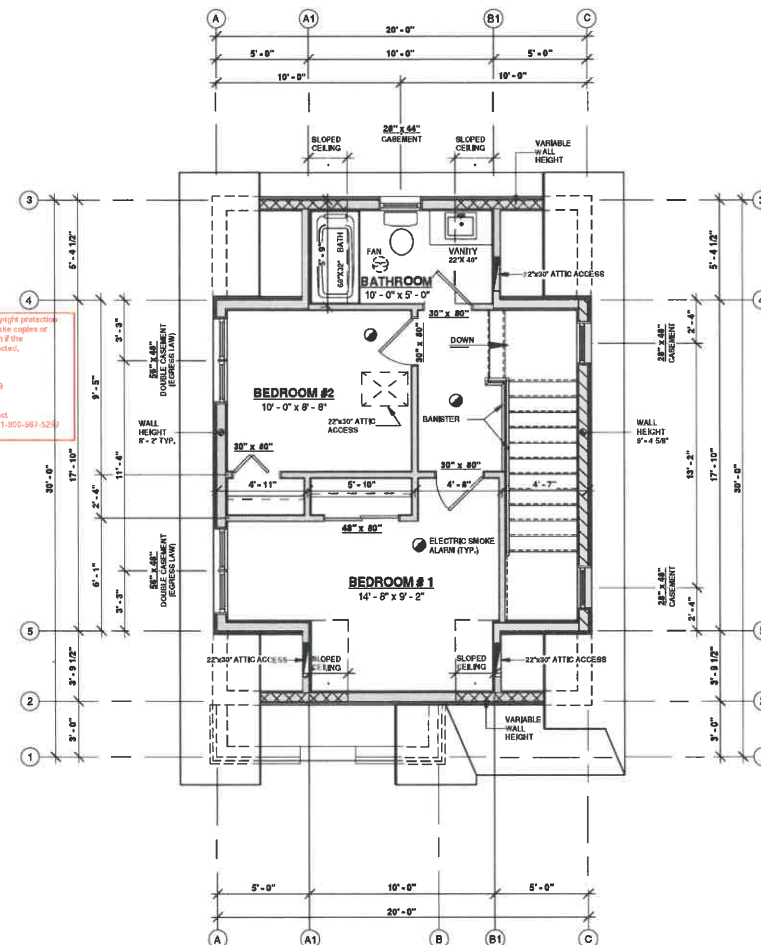
PROVIDE BRACING IN ALL EXTERIOR WALL CORNERS. BRACING CAN BE MADE OF 1"x4" PLYWOOD, 1"x6" OSB OR STEEL BRACING INSTALLED AT 4' ONCE.

IN MASONRY WALL, THE HORIZONTAL STEEL CLAMP ARE TO BE PLACED AT A MAX. 2'-0" SPACING. THE VERTICAL ONES AT 1' MAX. THE END OF THE STEEL LINTELS (OVER OPENING) TO BE DETERMINED BY THE MASON.

IT IS RECOMMENDED THAT A 5/8" GYPSUM BOARD ON A 1/2" FURRING @ 16" OC BE INSTALLED ON THE BASEMENT CEILING TO INCREASE THE FIREPROOFING.



GROUND FLOOR



SECOND FLOOR

STRUCTURAL LEGEND



INTERNAL STUD POST



LAMINATED BEAM SUPPORTING STRUCTURE



BEARING WALL

ABBREVIATION

LVL: LAMINATED VENEER LUMBER

OSB: ORIENTED STRONG BOARD

1/2": 1/2 INCH

CROSS SECTION

SECTION INDICATING THE DIRECTION OF CUT

SECTION NUMBER

SECTION MATERIAL

SECTION MATERIAL

5A19-VA



DRUMMOND HOUSE PLANS

A better plan for every project

CONTACT US

HEAD OFFICE
Tel: 1-800-887-6287
Email: info@drummondhouseplans.com

NOTES:

THESE PLANS HAVE BEEN DRAWN ACCORDING TO HIGH-QUALITY STANDARDS AND PRACTICES AND ARE AN ACCURATE GUIDE TO BUILDING CONSTRUCTION. HOWEVER, LOCAL REGULATIONS AND LOCAL BUILDING CODE REQUIREMENTS VARY, AND AS SUCH MAY REQUIRE CHANGES. THE BUILDING CONTRACTOR MUST REVIEW AND ENSURE WITH HIS CLIENT THAT THE PLANS CONFORM TO ALL CURRENT GOVERNMENTAL AND/OR BUILDING CODE REQUIREMENTS IN THE MUNICIPALITY WHERE THE HOME WILL BE BUILT. THE CLIENT IS RESPONSIBLE FOR THE VERIFICATION OF MUNICIPAL REGULATIONS.

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CLIENT INFO
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(885)415-8872

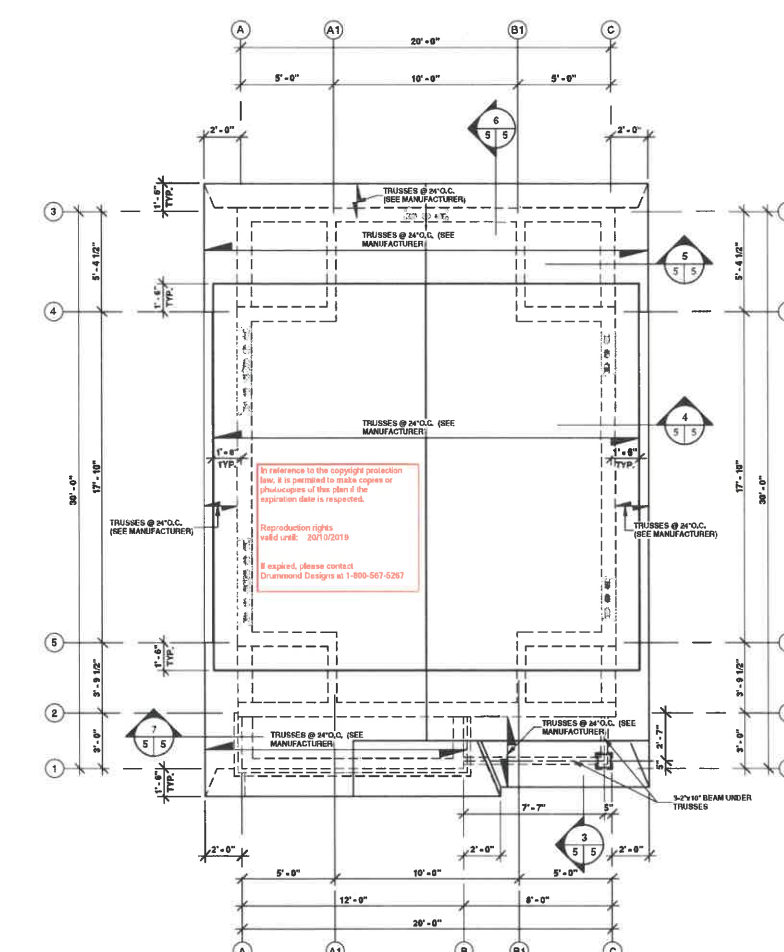
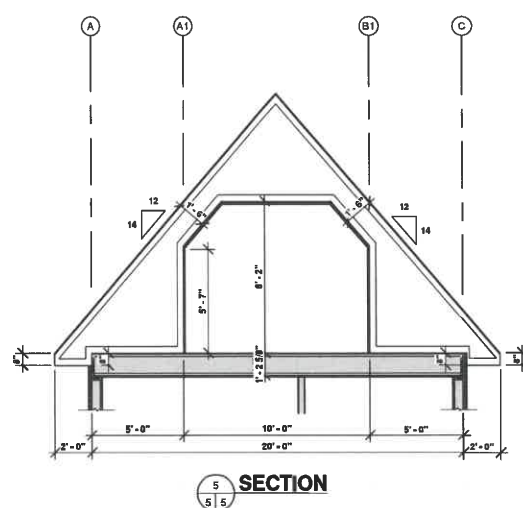
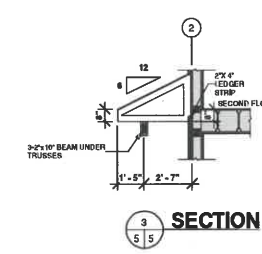
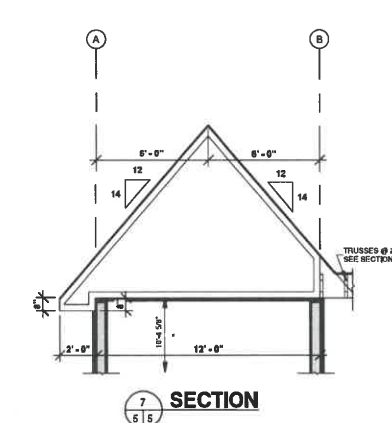
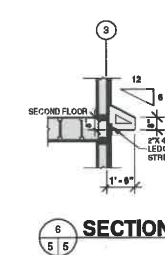
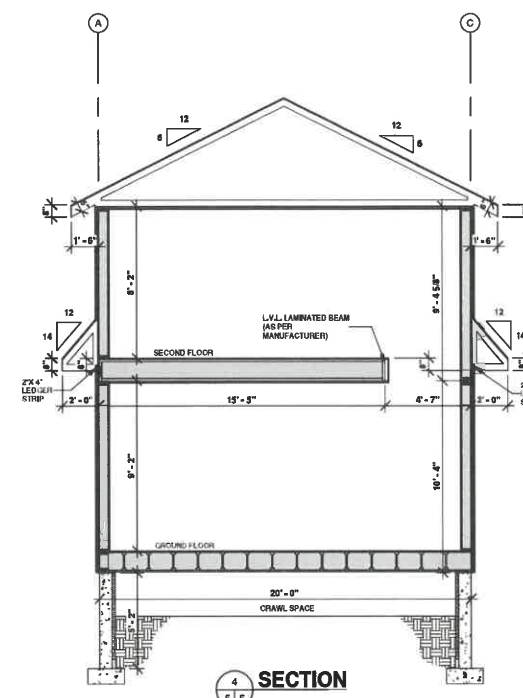
REVISION
NO DATE BY

STAMP BY:

PROJECT INFO
NEW CONSTRUCTION
(CRAWLSPACE)

DRAWING
ROOF PLAN

DESIGNED BY	DRAWN BY	CHECKED BY
S.M.	V.ST-L	V.P.
DATE	15/09/18	SCALE
PLAN NO.	1908	SHEET NO.
		5-7



5-A-19-VA



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TN, US 37849-3746
(865)415-8872

REVISION	NO	DATE	BY

STAMP BY: _____

PROJECT INFO:
NEW CONSTRUCTION

DRUMMOND HOUSEPLANS.COM AIA	(GRAPHICSPACE)		
	DRAWING		
	WALL SECTION		
	DESIGNED BY S.M.	DRAWN BY V.S.T.-L	CHECKED BY V.P.
DATE 1609/16	SCALE N/A		
PLAN NO. 1908	SHEET NO. 6-7		

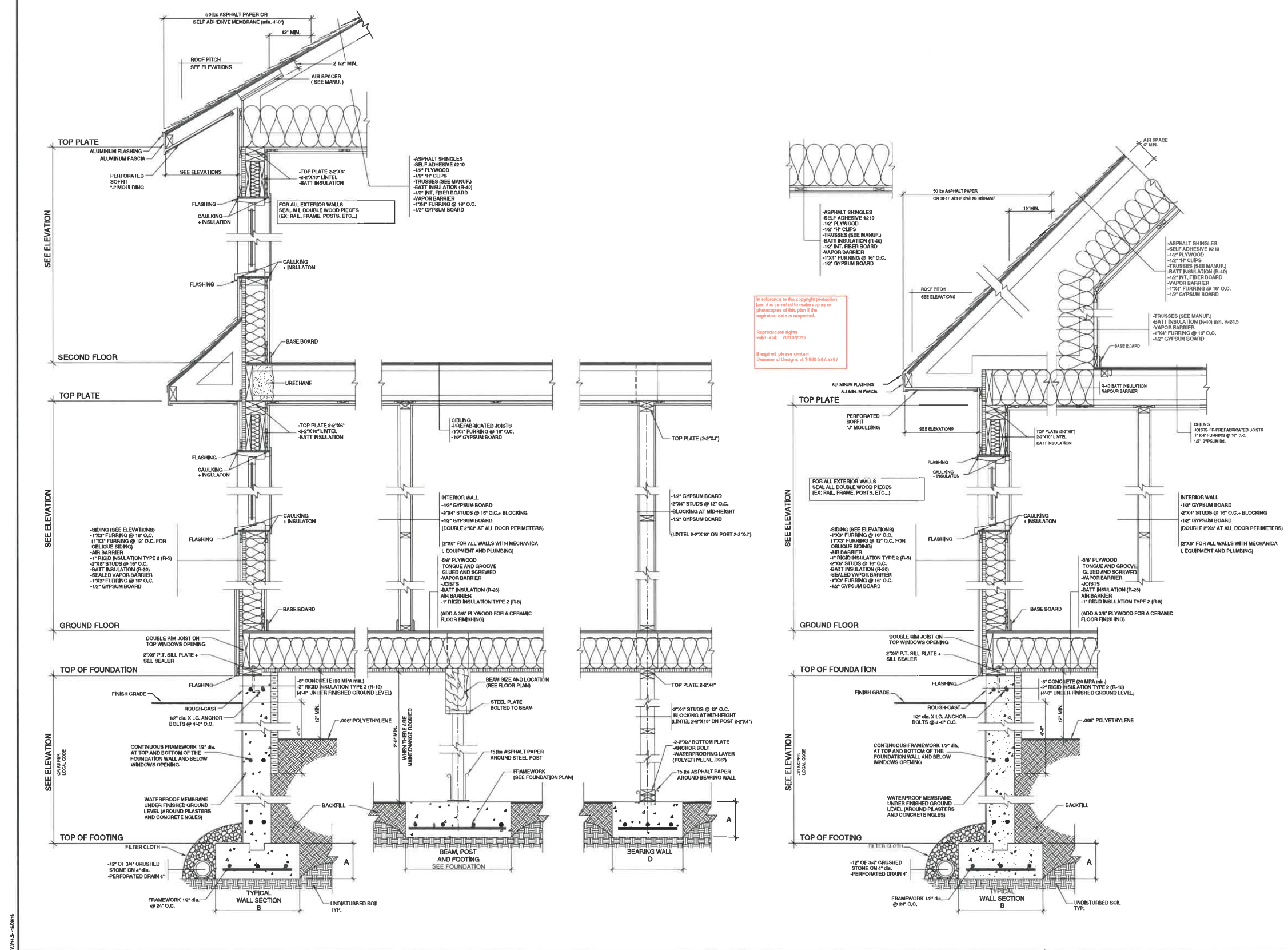


TABLE 1

5-A-19-VA



DRUMMOND HOUSE PLANS

A better plan for every project

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NOTES:

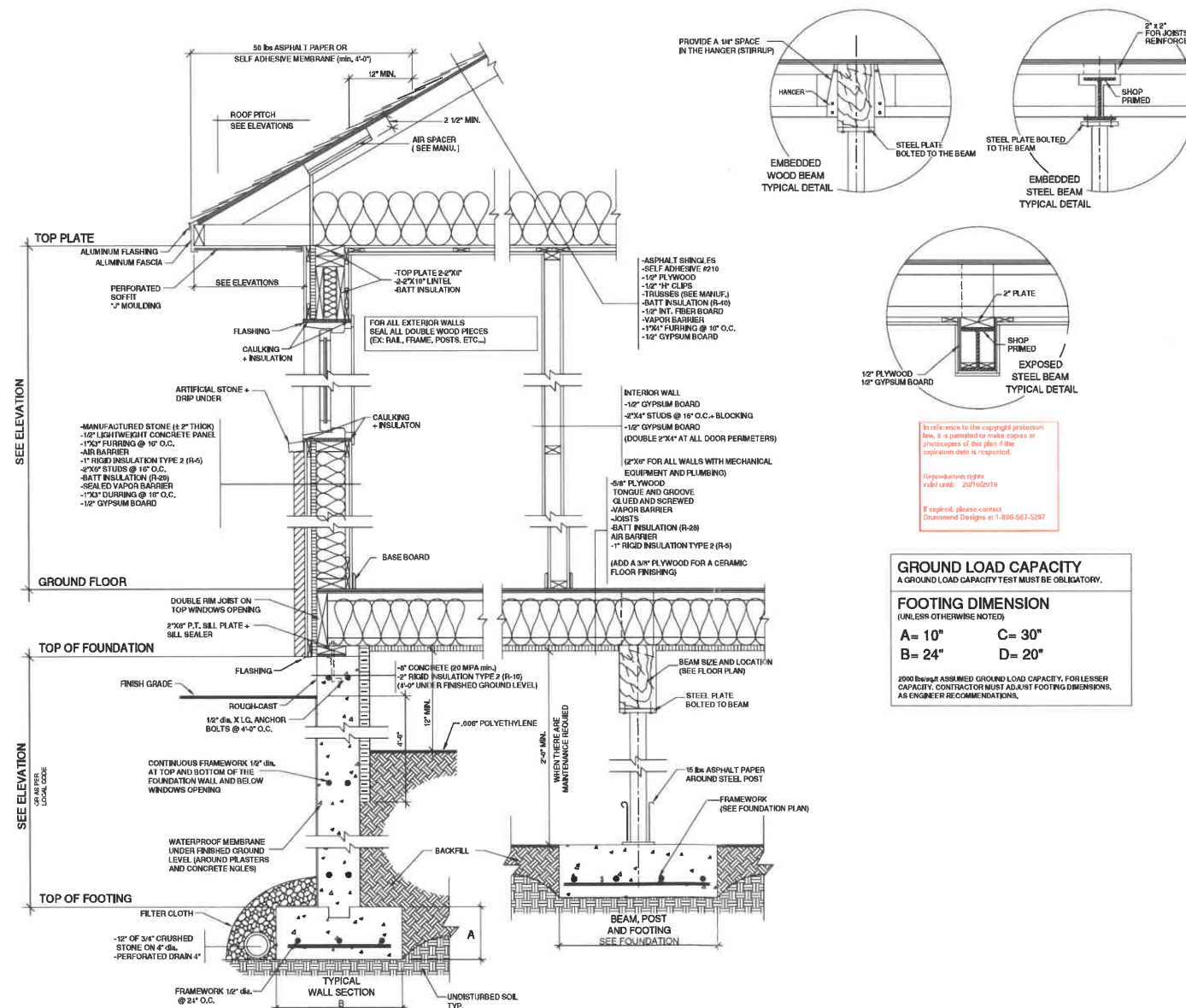
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GROUND LOAD CAPACITY

A GROUND LOAD CAPACITY TEST MUST BE OBLIGATORY.

FOOTING DIMENSION

(UNLESS OTHERWISE NOTED)

A= 10" C= 30"
B= 24" D= 20"

2000 lb/sq ft ASSUMED GROUND LOAD CAPACITY. FOR LESSER
CAPACITY, CONTRACTOR MUST ADJUST FOOTING DIMENSIONS,
AS ENGINEER RECOMMENDATIONS.

CLIENTS

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POWELL
TN, US 37849-3746
(865) 415-8972

REVISION

NO DATE BY

STAMP BY:

PROJECT INFO:

NEW CONSTRUCTION
(COUNTRY/STATE)

DRAWING

WALL SECTION

DESIGNED BY	DRAWN BY	CHECKED BY
SJM	V.B.T.L.	V.P.
DATE	16/09/16	SCALE
PLAN NO.	1908	SHEET NO.
		7-7

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