

File #

6-E-19-VA



BOARD OF ZONING APPEALS APPLICATION

APPLICANT INFORMATION	APPLICANT IS:	THIS PROPOSAL PERTAINS TO:
Name Sycamore Sign Service	Owner <input type="checkbox"/>	New Structure <input checked="" type="checkbox"/>
Street Address 3315 Riverside Drive	Contractor <input checked="" type="checkbox"/>	Modification of Existing Structure <input type="checkbox"/>
City, State, Zip Knoxville, TN 37914	Tenant <input type="checkbox"/>	Off Street Parking <input type="checkbox"/>
Phone Number 865.247.0466	Other <input type="checkbox"/>	Signage <input checked="" type="checkbox"/>
Email marshabbranch202@gmail.com		Other <input type="checkbox"/>

THIS IS A REQUEST FOR:

- | | |
|--|--|
| <input checked="" type="checkbox"/> Zoning Variance (Building Permit Denied) | <input checked="" type="checkbox"/> Extension of Non-Conforming Use/or Structure |
| <input type="checkbox"/> Appeal of Administrative Official's Decision | <input type="checkbox"/> Map Interpretation |

PROPERTY INFORMATION

Street Address 2223 Cumberland Avenue
City, State, Zip Knoxville, TN 37916
Parcel # (see KGIS.org) 108CC03301
Zoning District (see KGIS.org) FD-CU- 2 2

VARIANCE REQUIREMENTS

City of Knoxville Zoning Ordinance Article 7, Section 2

The City of Knoxville Board of Zoning Appeals shall have the power and authority to grant variances from terms of this ordinance according to the procedure and under the restrictions set out in this section.

The purpose of the variance is to modify the strict application of the specific requirements of this ordinance in the case of exceptionally irregular, narrow, shallow or steep lots, or other exceptional physical conditions, whereby such strict application would result in practical difficulty or unnecessary hardship which would deprive an owner of the reasonable use of his land. The variance shall be used only where necessary to overcome some obstacle which is preventing an owner from using his property as the zoning ordinance intended.

DESCRIPTION OF APPEAL

Describe your project and why you need variances.

Sign #3 in the attached art work is not in compliance with the distance to grade requirements for this location. We cannot possibly meet this requirement as the sidewalk is on a slope. This is unfortunately preventing the developer in obtaining building permits.

Describe hardship conditions that apply to this variance.

Due to the demographics of this location and the site is most accessible by foot traffic. Signage is needed of this elevation so customers can locate the space easily with out confusion.

APPLICANT AUTHORIZATION

I hereby certify that I am the authorized applicant, representing ALL property owners involved in this request and that all owners have been notified of this request in writing.

APPLICANT'S SIGNATURE Marsha Branch

Digitally signed by Marsha Branch
Date: 2019.05.13 10:38:14 -04'00'

DATE 5/13/18

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BOARD OF ZONING APPEALS APPLICATION

*******OFFICE USE ONLY*******

Is a plat required? Yes ☐ No ☒

VARIANCE REQUEST(S) WITH ORDINANCE CITATION(S):

Increase the maximum height of a wall sign in a FD-CU-2 zone from 18' to 24' 6".

Per Article 4, Section 4.2.8.D.1.

REVISED

PROJECT INFORMATION

Date Filed 5-15-19

Fee Amount \$250

PA CC 515119 gj

Council District 1

BZA Meeting Date 6-20-19

PLANS REVIEWER Rebecca Johnson

DATE 5-15-19



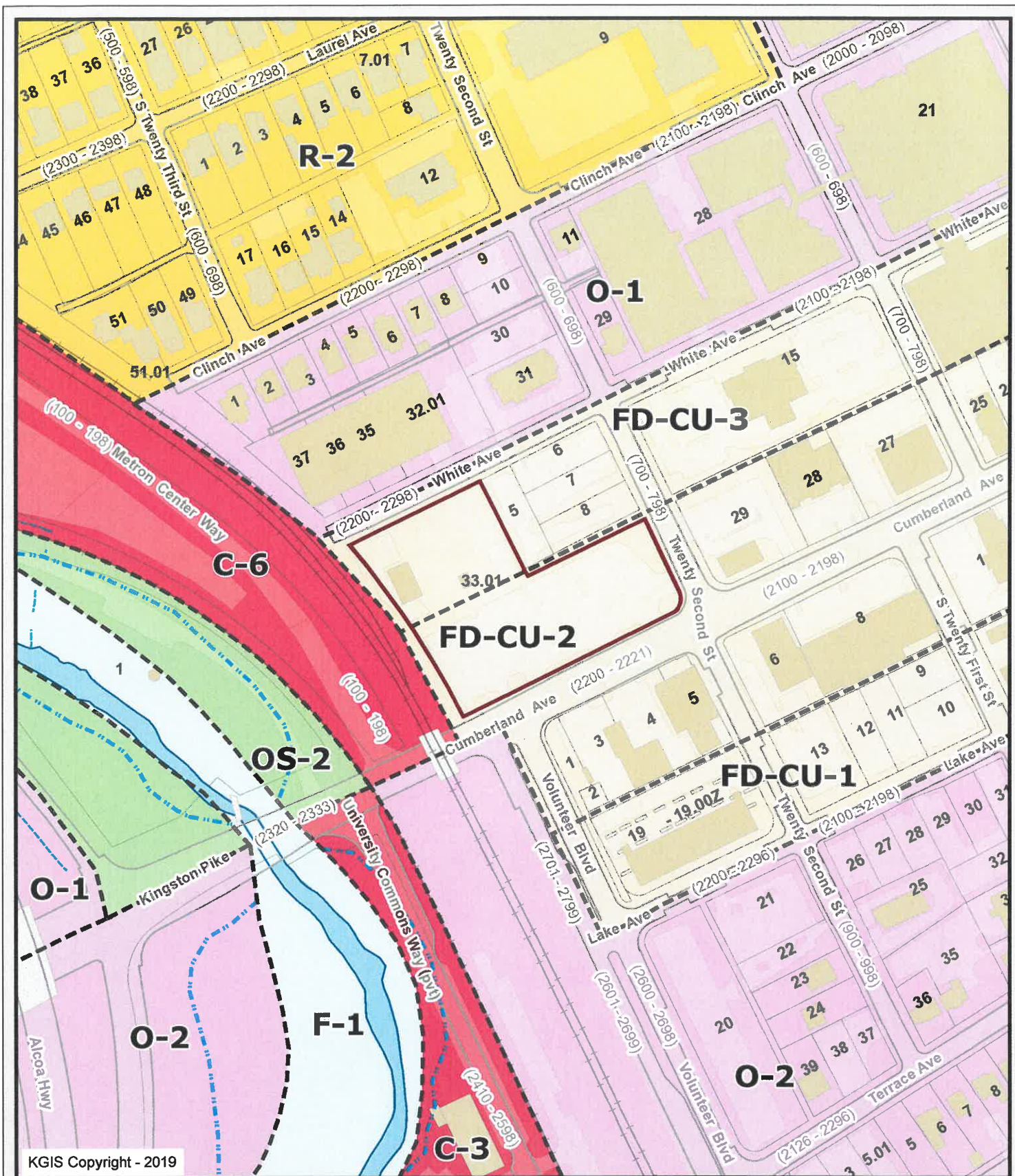
Jillian Carbone
Dodd Creative Group
JILLIAN@DODDCREATIVE.COM
Project: 2223 Cumberland Avenue
Date: April 29th, 2019

Form Base Code Requirements – Revision 1 Comments

Zoning District: Cumberland Avenue CU-2

Section 4.2.8. Signs

- Projecting signs shown exceed the maximum of 12 ft. in height. Overall sign height has been eliminated from sign rendering. Confirm on rendering that projecting sign is a maximum of 12 feet in height.
- The wall signs must be placed no higher than 18 ft. above the sidewalk. Sign S3 is shown as exceeding this limit. Adjust sign to meet the 18 ft. dimensional requirement.
- Please confirm that no signage will be placed on the building's north elevation (White Avenue).



2223 Cumberland Ave.

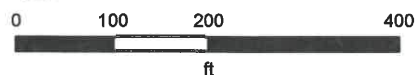
6-E-19-VA

Sycamore Sign Service

Knoxville - Knox County - KUB Geographic Information System



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2223 Cumberland Ave.

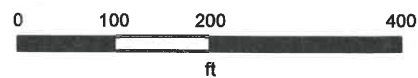
6-E-19-VA

Sycamore Sign Service

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2223 Cumberland Ave.

6-E-19-VA

Sycamore Sign Service

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Below are District 18's comments regarding the BZA applications for this month:

6A19VA: No comment

6B19VA: No comment

6C19VA: No comment

6D19VA: No comment

6E19VA: Although the property abuts state-owned rights-of-way, the plans submitted do not appear to depict any encroachment. It should be noted that ROW encroachments during construction activities are not permitted and that no signage or signage overhang is allowed on state-owned rights-of-way.

6F19VA: No comment

6G19VA: No comment

6H19VA: No comment



Steven M. Borden, P.E. | Director/Assistant Chief Engineer

TDOT – Region 1

7345 Region Lane

Knoxville, TN 37914

(865) 594-2400

Steve.Borden@tn.gov

tn.gov/tdot



Site # 11137

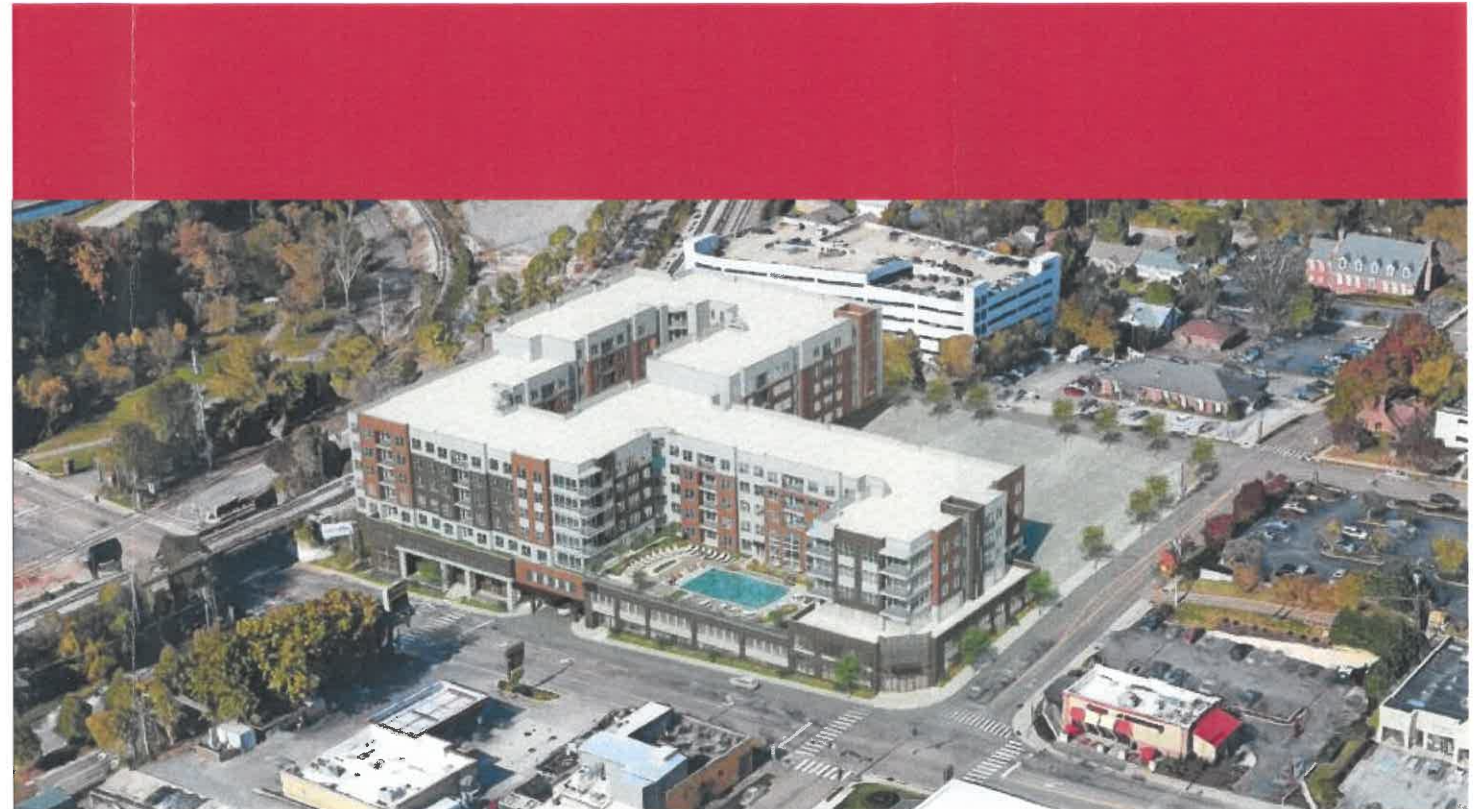
Knoxville, TN

Twenty Second St & Cumberland Ave

SO 95046

Site Book Creation Date: 10.03.2018

Revised: 04.15.2019



National Headquarters: 1077 West Blue Heron Blvd.
West Palm Beach, Florida 33404
800.772.7932
www.atlasbtw.com

Branded Elevation



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Revisions:

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PM. ??
Drawn By TLD
Date 10/03/2018

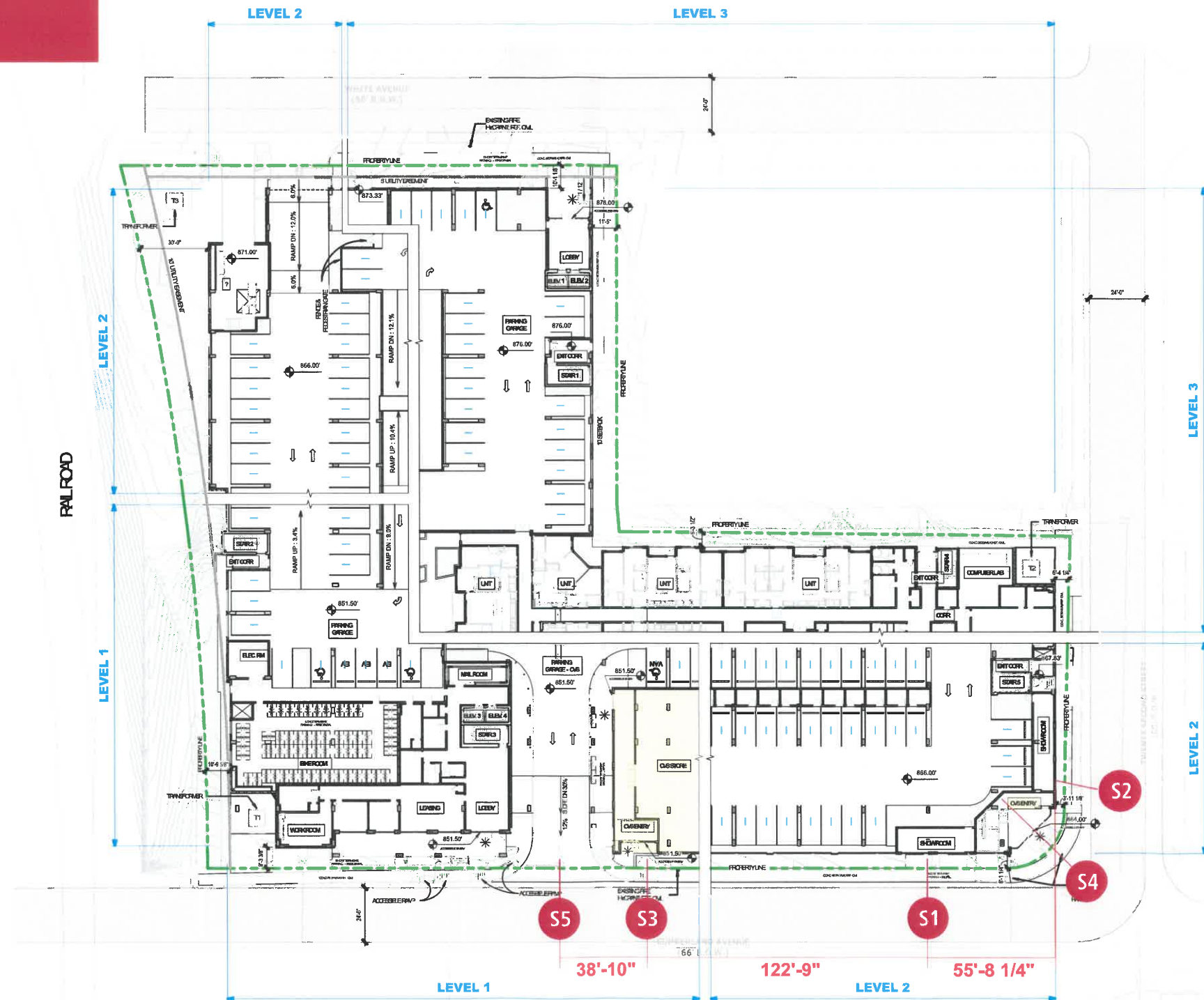
Address: Twenty Second St & Cumberland Ave
City: Knoxville State: TN
SQ# 95046

Drawing Number: 95046-ELV

Page Number 2

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Site Plan



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Revisions:

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PM ??

Drawn By TLD

Date 10/03/2018

Address: Twenty Second St & Cumberland Ave

City Knoxville

SO# 95046

State TN

Drawing Number 95046-SP

Page Number 3

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S3

Non Illuminated FCO Letterset | 52.15 Sq Ft

Manufacture and install .250" thick aluminum FCO letterset painted white with satin finish. Letterset to be stud mounted flush to brick fascia as shown.
Sign mounts flush to fascia via non-corrosive fasteners.

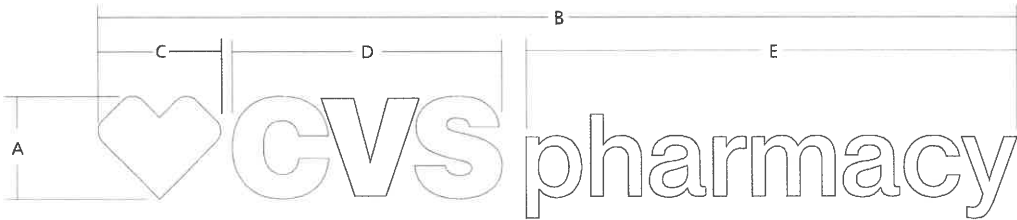
*Fascia dimensions to be verified prior to production.

Colors and Materials

 .250" Aluminum painted White (Satin Finish)



South Elevation (Partial)



	A	B	C	D	E	Square Footage
Custom-28-L	2'-4 1/4"	22'-1 13/16"	2'-11 7/8"	6'-5 11/16"	11'-9 15/16"	52.15

(A) Height of capital letter based on 'V'



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Revisions:

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PM. ??
Drawn By TLD
Date 10/03/2018

Address Twenty Second St & Cumberland Ave
City Knoxville State TN
SO#: 95046

Drawing Number: 95046-S03

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