

File #

12-J-20-YA



CITY OF KNOXVILLE

BOARD OF ZONING APPEALS APPLICATION

Click on **Meeting Schedule, Deadlines and Fees** for information on submitting an application to be heard at a monthly Board meeting.

APPLICANT INFORMATION	APPLICANT IS:	THIS PROPOSAL PERTAINS TO:
Name: KEN PADGETT	Owner <input type="checkbox"/>	New Structure <input type="checkbox"/>
Street Address: 6 BAFFIN BAY CT	Contractor <input type="checkbox"/>	Modification of Existing Structure <input type="checkbox"/>
City, State, Zip: ROCKVILLE, MD 20853	Tenant <input type="checkbox"/>	Off Street Parking <input type="checkbox"/>
Phone Number: 301-591-4002	Other <input checked="" type="checkbox"/>	Signage <input checked="" type="checkbox"/>
Email: KEN@MID-ATLANTICPERMITS.COM		Other: <input type="checkbox"/>

THIS IS A REQUEST FOR:

- ☒ Zoning Variance (Building Permit Denied)
 ☐ Extension of Non-Conforming Use/or Structure
☐ Appeal of Administrative Official's Decision
 ☐ Map Interpretation

PROPERTY INFORMATION

Street Address : 1109 WHITE AVE City, State, Zip: KNOXVILLE, TN 37916
 See KGIS.org for Parcel #: 094MC021 and Zoning District: O

VARIANCE REQUIREMENTS

City of Knoxville Zoning Ordinance Article 7, Section 2

The City of Knoxville Board of Zoning Appeals shall have the power and authority to grant variances from terms of this ordinance according to the procedure and under the restrictions set out in this section.

The purpose of the variance is to modify the strict application of the specific requirements of this ordinance in the case of exceptionally irregular, narrow, shallow or steep lots, or other exceptional physical conditions, whereby such strict application would result in practical difficulty or unnecessary hardship which would deprive an owner of the reasonable use of his land. The variance shall be used only where necessary to overcome some obstacle which is preventing an owner from using his property as the zoning ordinance intended.

DESCRIPTION OF APPEAL

Describe your project and why you need variances.

Add (1) blade sign to the east side of the building (11th st/World's Fair Park side). The proposed sign size is 25.25' x 4.66' = 117.67 sf. The area of the sign exceeds the single sign maximum area allowance of 24 sf.

Additional signage pending permits.

- (1) Monument sign 6' x 6' = 36 sf
 (1) Building mounted sign 2.110' x 11.005' 23.22 sf

Describe hardship conditions that apply to this variance.

Please see attached letter.

APPLICANT AUTHORIZATION

I hereby certify that I am the authorized applicant, representing ALL property owners involved in this request and that all owners have been notified of this request in writing.

APPLICANT'S SIGNATURE

DATE

11/16/2020

File #

12-J-20-VA



CITY OF KNOXVILLE

BOARD OF ZONING APPEALS APPLICATION*******OFFICE USE ONLY*******Is a plat required? Yes ☐ No ☒Small Lot of record? ☐**VARIANCE REQUEST(S) WITH ORDINANCE CITATION(S):**

Increase the maximum sign area of an individual wall sign in a O zone from 24 square feet in area to 117.67 square feet in area per Article 13.9.E.2.a.

PROJECT INFORMATION

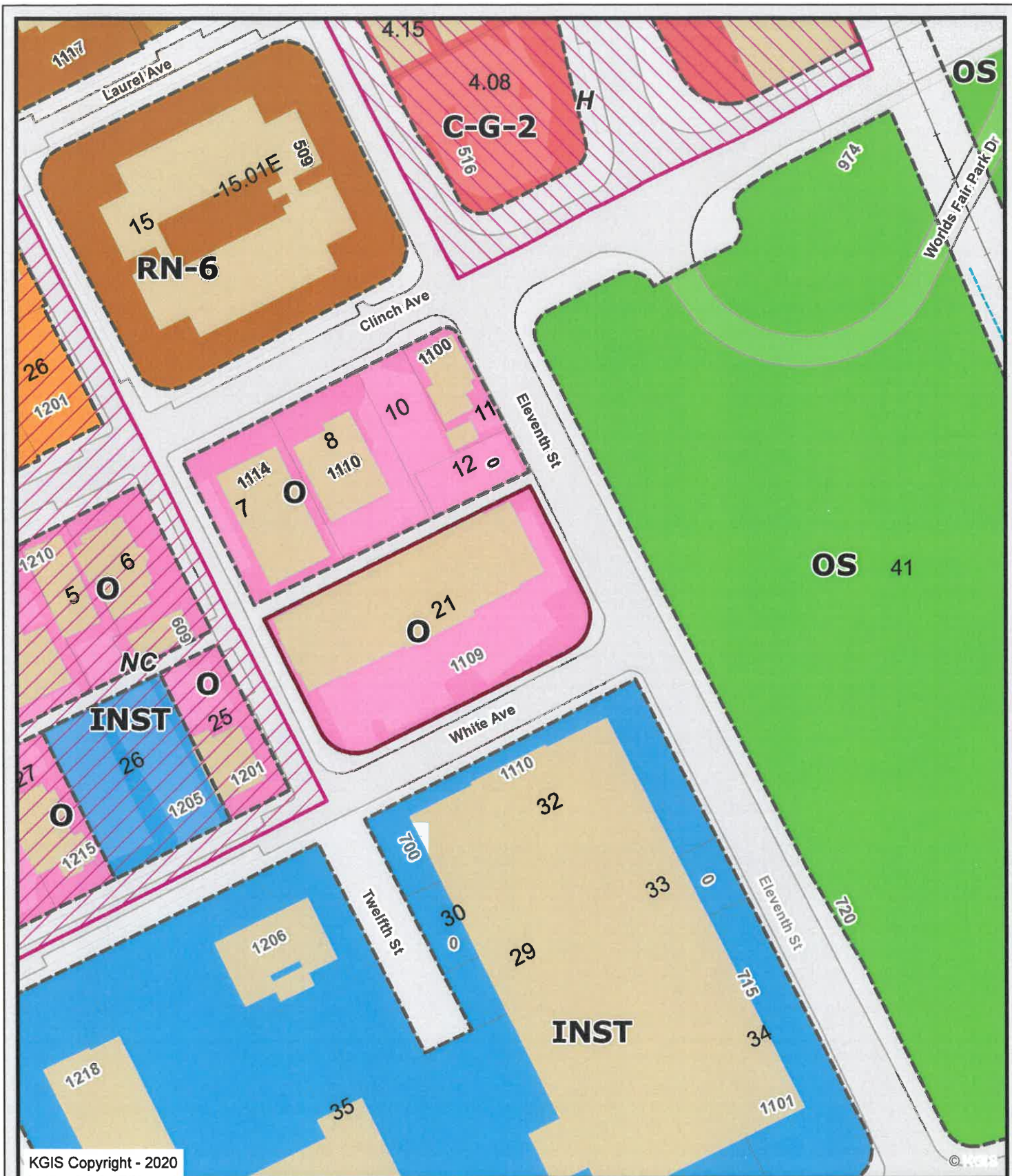
Date Filed 11-16-20

Fee Amount \$500

Council District 1

BZA Meeting Date 12-17-20

PLANS REVIEWER Rebecca Johnson**DATE** 11-19-20



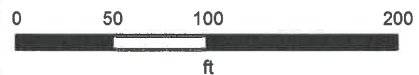
1109 White Ave.

12-J-20-VA
Ken Padgett

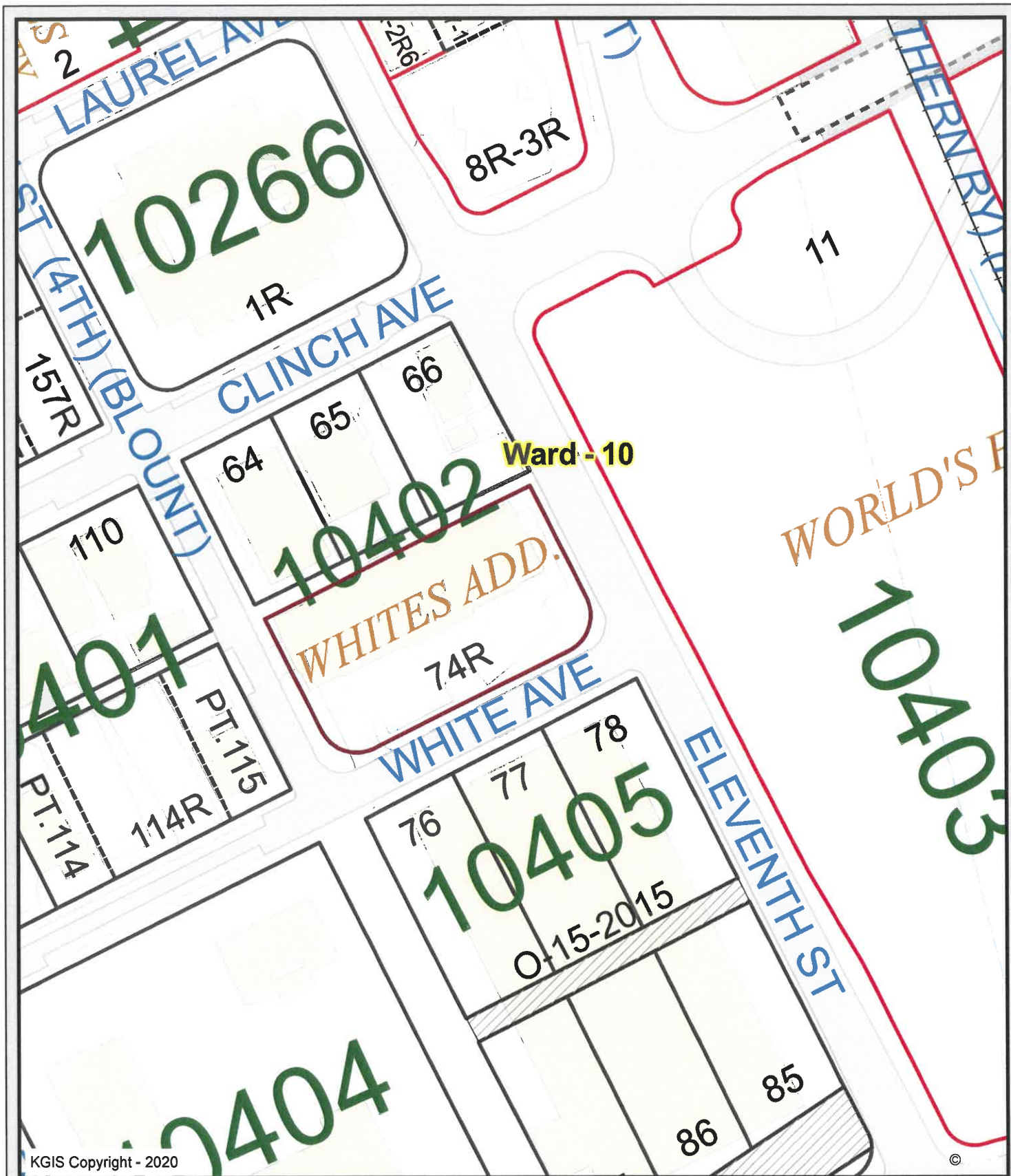
Knoxville - Knox County - KUB Geographic Information System



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1109 White Ave.

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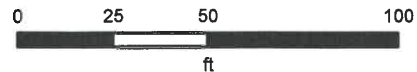
1109 White Ave.

12-J-20-VA
Ken Padgett

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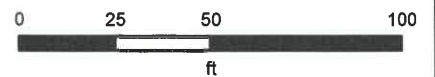
1109 White Ave.

12-J-20-VA
Ken Padgett

Knoxville - Knox County - KUB Geographic Information System



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City of Knoxville
Board of Zoning Appeals
400 Main Street
Knoxville, TN 37902

November 12, 2020

Board of Zoning Appeals:

This letter is to request a variance for the building mounted signage at the Knoxville Cumberland House hotel located at 1109 White Avenue, Knoxville, TN 37916. Formerly the Four Points hotel, and prior to our renovation, there were two wall signs that exceeded the current twenty-four square foot (24 SF) per sign limitation. The "Four Points by Sheraton" sign on the front elevation was thirty-four feet wide and three feet tall, which is an area of one hundred and two square feet (102 SF), far exceeding the current limit. Additionally, there was a second sign on the 11th street side of the building, which also exceeded the twenty-four square foot (24 SF) limit. We have included pictures of those previous signs in the attachment.

While we preferred both previous locations for exterior signage, as did Hilton, we understand that there are restrictions on the total area of wall signs. As such, we developed a blade sign that would be located on the east side of the building (11th Street / World's Fair Park side) that would help provide adequate sight lines while limiting the additional square footage that is needed. We were very purposeful in providing a scale for this one sign that was appropriate for the overall building aesthetic and overall functionality. Without this sign our guests will not see any noticeable sign until they pass the driveway. This will cause confusion and a potential for guests turning around in adjacent parking lots or making U-turns rather than efficiently and safely entering the hotel drive.

Our current building is one hundred and ninety-four feet (194') long and is sixty-nine feet (69') tall above the ground level parking deck and along the western elevation. The building is taller at eighty-two feet (82') tall above the ground level on along the eastern elevation. Using the sixty-nine feet (69') high elevation, the wall area of the primary building elevation is thirteen thousand three hundred and eighty-six square feet (13,386 SF). The current code lists a total allowed sign area of five percent (5%) of the wall area of the primary building elevation and a maximum allowable square footage of 24 SF. At five percent (5%) we would be allowed 669.3 SF. While above the maximum of twenty four square feet (24 SF) that is listed in the code, the proposed one hundred and seventeen square feet (117 SF) blade sign is less than one percent (1%) of the primary building elevation (.087% to be exact). The twenty-four square feet (24 SF) maximum permitted is

PEACHTREE HOTEL GROUP
One Alliance Center
3500 Lenox Road, Suite 625 | ATLANTA, GA 30326

not consistent with the requirement for a six-story hotel building sign to be functional. Additionally, the proposed sign location, on the east side of the building, does not face an adjacent residential zone district.

Finally, if you look at the exhibits below, you will see how small a twenty-four square foot (24 SF) sign will appear on this building. The letterset will only be around twelve inches wide, rendering the sign unreadable unless you are already at the hotel drop off canopy. The proposed sign is sized for functionality and readability while also being scaled appropriately for the building based upon the commercial use and the overall design aesthetic.

Exhibit A: 24 SF sign (12' x 2')

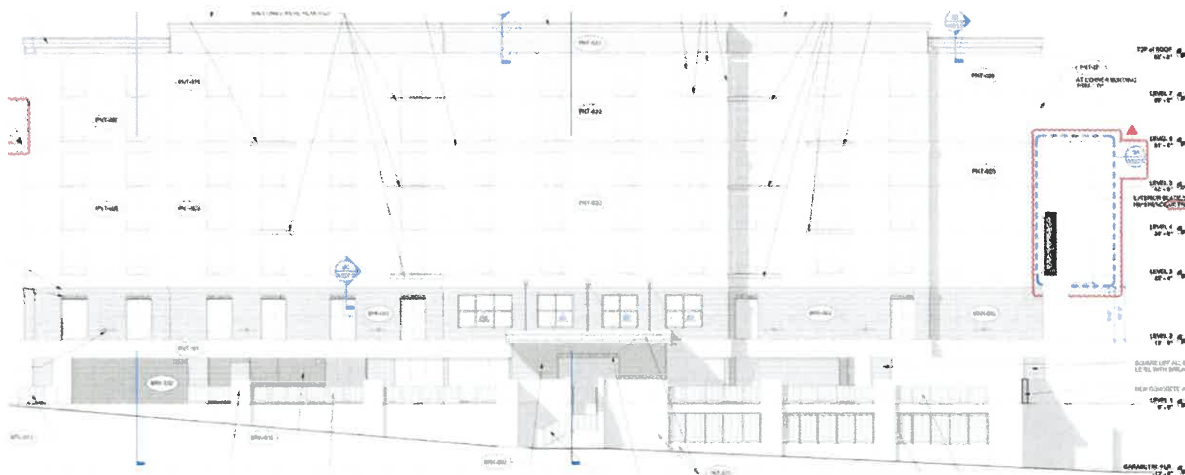


Exhibit B: Requested 118 SF sign (25'-3" x 4'-8")

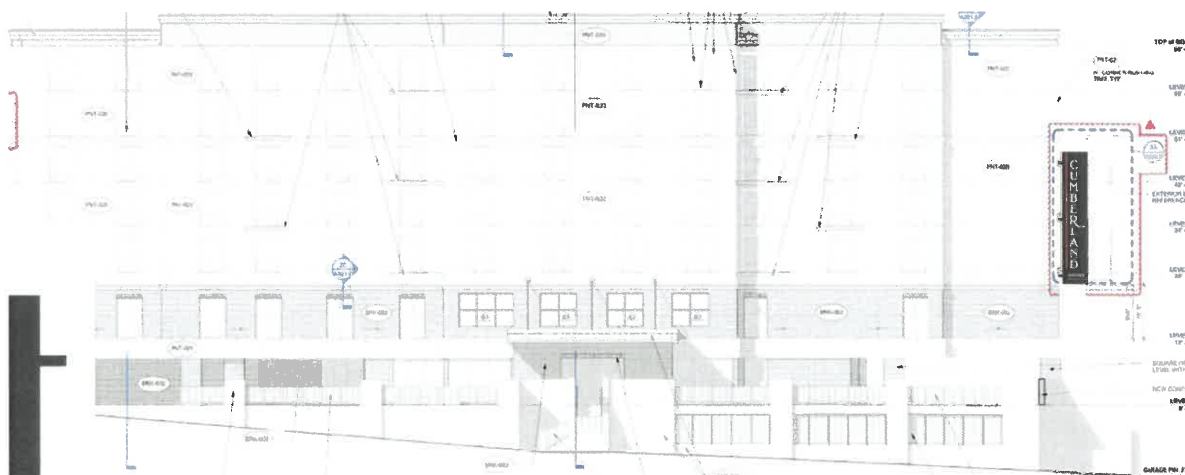




Exhibit C: Hotel rendering with one hundred and seventeen square foot (117SF) blade sign



We appreciate your time in reviewing this request. We hope you understand the hardships that the smaller sign will cause us. We have designed the proposed signage in such a way that it will be functional to arriving guests, compliment the renovation efforts and re-design, as well as meet Hilton brand standards all while meeting local codes as much as possible. The location of the sign is such that it is not facing an adjacent residential zone district and the overall design is cohesive with the overall building in both aesthetic and scale. We greatly appreciated your consideration in this matter and look forward to working towards a resolution that will meets the needs of all parties.

Thank you again for your consideration, and please do not hesitate to let us know if you have any additional questions or concerns.

Regards,

Lee Shuman
Vice President of Construction and Design
Peachtree Hotel Group

PEACHTREE HOTEL GROUP
One Alliance Center
3500 Lenox Road, Suite 625 | ATLANTA, GA 30326



1109 White Ave
Previous Condition Front Elevation (South)



1109 White Ave
Previous Condition Side Elevation (East)

FINISH LEGEND - EXTERIOR

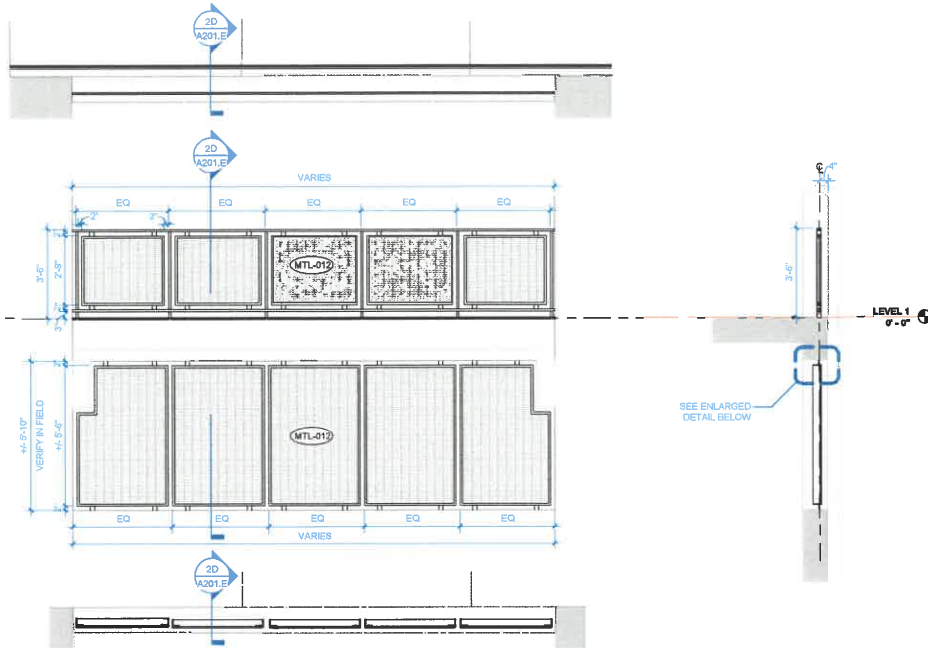
FINISH NO.	MATERIAL	MANUFACTURER	STYLE NAME / NO.	COLOR	SIZE	DESCRIPTION / REMARKS
CONC-001	CONCRETE	SCOFIELD	TEXTURETOP PRO	A-78 STONE GRAY AND A-87 PLATINUM GRAY	REF. DRAWINGS	PORT COCHERE STAMPED CONCRETE
BRK-002	BRICK	CAROLINA CERAMICS	ARCHITECTURAL COLLECTION	BLUE BLACK	THIN BRICK	EXTERIOR BRICK, RUNNING BOND INSTALLATION PATTERN, WITH SOLDIER COURSE AT WINDOW AND DOOR HEADERS, WHERE NOTED ON EXTERIOR ELEVATIONS. SUBMIT GROUT COLORS RANGING FROM WORKRITE PEWTER WP-2057 TO WORKRITE SMOKE WR-2062.
MTL-011	METAL	AMERICAN TIN	TBD	ARTISAN OIL RUBBED BRONZE	6/16	PORT COCHERE STAMPED TIN CEILING
MTL-012	METAL	BANKER WIRE	PZ-10	S-12 PRISMATIC OIL RUBBED BRONZE	TBD	PARKING GARAGE + RAILINGS METAL MESH
MTL-013	METAL	TBD	TBD	BLACK POWDERCOAT	TBD	AIR HANDLER METAL MESH SCREEN
PNT-020	PAINT	BENJAMIN MOORE	FLAT FINISH	WROUGHT IRON / 2134-10		EXTERIOR SIDING PAINT
PNT-021	PAINT	BENJAMIN MOORE	FLAT FINISH	ONYX / 2133-10		DARK EPS BAND & CORNER TRIM PAINT
PNT-022	PAINT	BENJAMIN MOORE	SEMI-GLOSS FINISH	CHELSEA GRAY / HC-168		LIGHT EPS BAND PAINT
PNT-023	PAINT	TBD AFTER OWNER REVIEW OF MOCKUP	EGGSHELL FINISH	TBD AFTER OWNER REVIEW OF MOCKUP		PORT COCHERE & PARKING GARAGE WALL PAINT
PNT-024	PAINT	BENJAMIN MOORE	FLAT FINISH	CUSTOM COLOR TO MATCH RGB 148, 75, 45		ORANGE BAND AROUND BUILDING

FINISH LEGEND - EXTERIOR ALTERNATE PAINTS*

FINISH NO.	MATERIAL	MANUFACTURER	STYLE NAME / NO.	COLOR	SIZE	DESCRIPTION / REMARKS
PNT-023.1	PAINT	BENJAMIN MOORE	FLAT FINISH	CHELSEA GRAY / HC-168	MOCKUP	PORT COCHERE & PARKING GARAGE MOCKUP PAINT
PNT-023.2	PAINT	SHERWIN WILLIAMS	FLAT FINISH	CLASSIC FRENCH GREY / SW 9077		PORT COCHERE & PARKING GARAGE MOCKUP PAINT

*NOTE: GC TO COORDINATE WITH OWNER FOR SCOPE OF EXTERIOR MOCKUP TO DETERMINE WHICH EXTERIOR LOCATIONS RECEIVE BELOW PAINT OPTIONS. APPROVED PNT FROM EXTERIOR MOCKUP TO BECOME PNT-023 FOR ROLL OUT.

ELEVATIONS, PLANS + SECTIONS - METAL MESH PANELS @ RAILINGS + GARAGE



EXTERIOR SIGNAGE NOTES

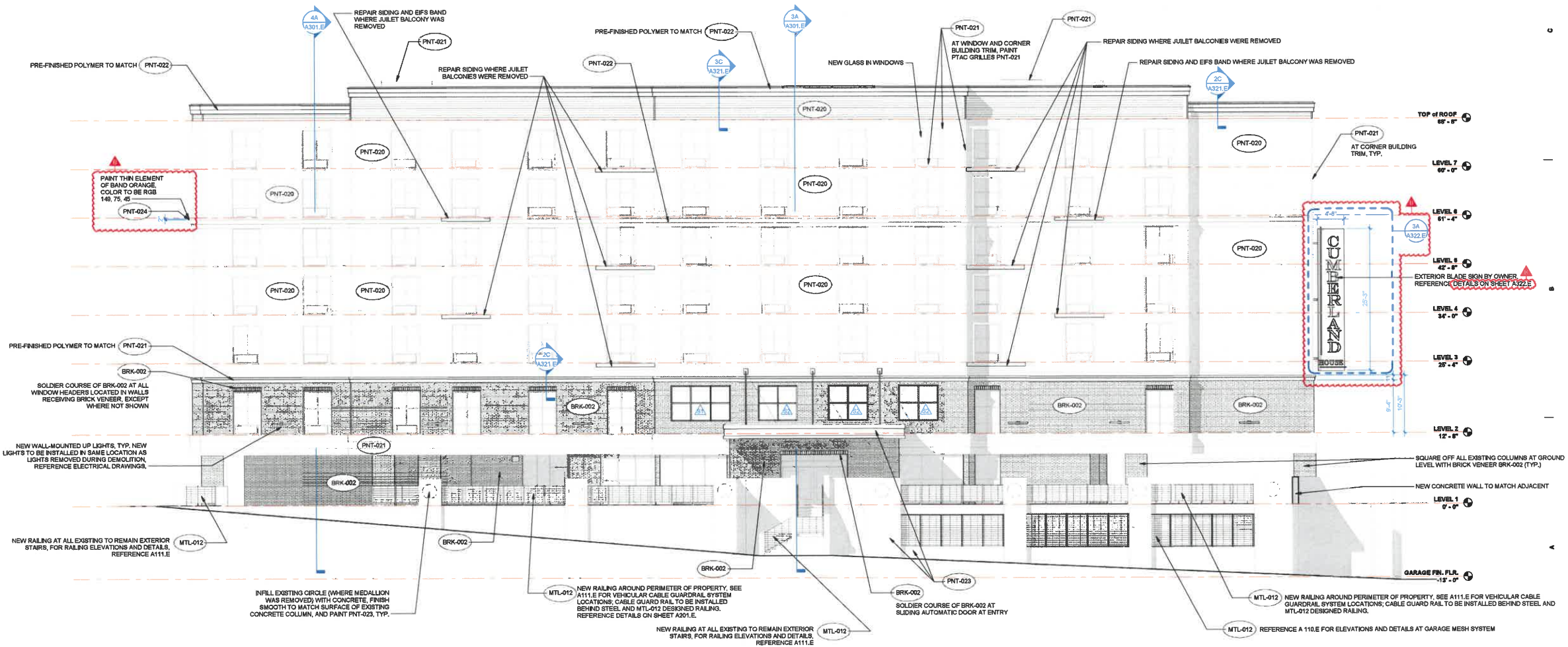
- OWNER TO COORDINATE AND VERIFY WITH LOCAL ZONING AND PLANNING DEPARTMENT ALLOWABLE SIGNAGE AREA, STYLE, AND TYPE, PRIOR TO FABRICATION AND INSTALLATION
- GC TO PROVIDE EXTERIOR MATERIAL MOCK-UP ON EXISTING BUILDING FACADE FOR OWNER APPROVAL

EXTERIOR ELEVATION NOTES

- COORDINATE EXHAUST VENTS WITH NEW BRICK VENEER
- GC TO PROVIDE EXTERIOR MATERIAL MOCK-UP ON EXISTING BUILDING FACADE FOR OWNER APPROVAL



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PROJECT NUMBER
2.180753.0

TAPESTRY COLLECTION BY HILTON - KNOXVILLE, TN
1109 WHITE AVENUE, KNOXVILLE, TN 37916

B 02/21/20 PERMIT COMMENTS 02 + EXTERIOR BLADE SIGN DETAILS

ISSUE
08/13/2019 - CONSTRUCTION DOCUMENTS

12-J-20-VA
EXTERIOR ELEVATIONS A201.E

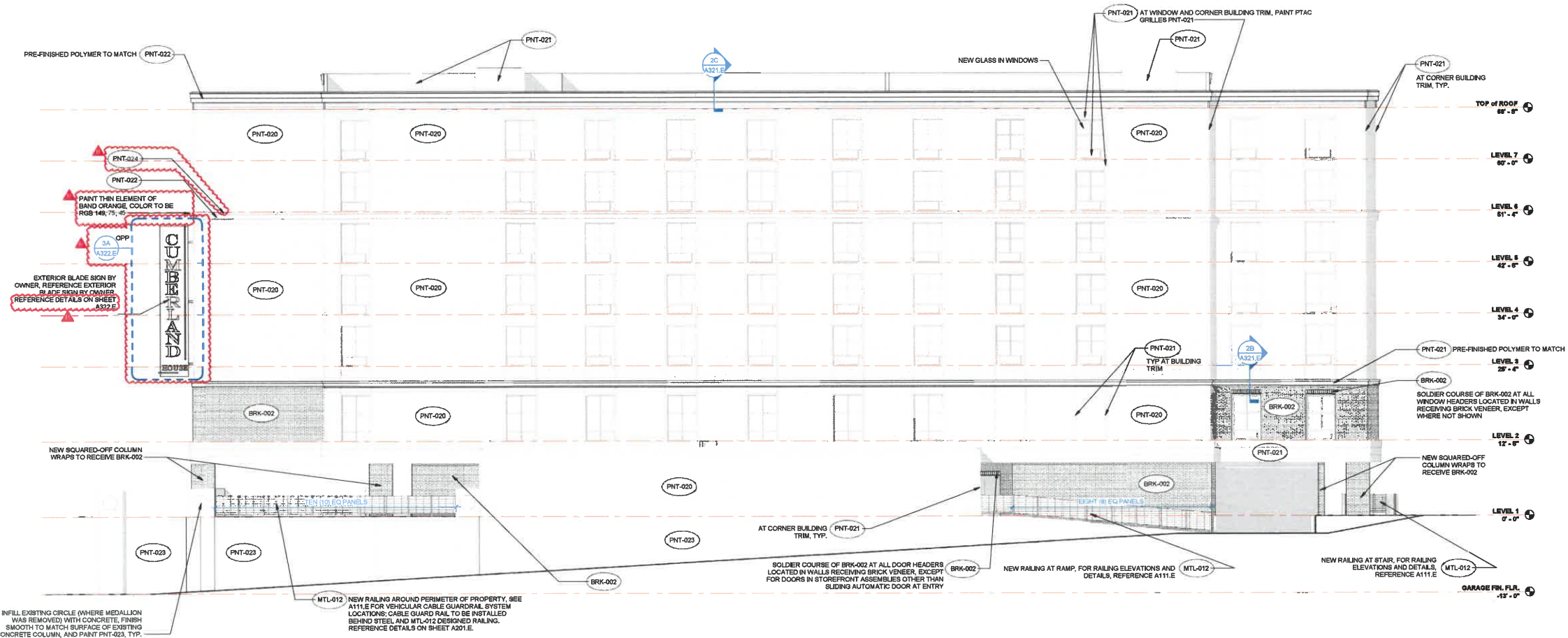
FINISH LEGEND - EXTERIOR

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CONC-001	CONCRETE	SCOFIELD	TEXTURETOP PRO	A-78 STONE GRAY AND A-87 PLATINUM GRAY	REF. DRAWINGS	PORT COCHERE STAMPED CONCRETE
BRK-002	BRICK	CAROLINA CERAMICS	ARCHITECTURAL COLLECTION	BLUE BLACK	THIN BRICK	EXTERIOR BRICK, RUNNING BOND INSTALLATION PATTERN, WITH SOLDIER COURSE AT WINDOW AND DOOR HEADERS, WHERE NOTED ON EXTERIOR ELEVATIONS. SUBMIT GROUT COLORS RANGING FROM WORKRITE PEWTER WR-2857 TO WORKRITE SMOKE WR-2052.
MTL-011	METAL	AMERICAN TIN	TBD	ARTISAN OIL RUBBED BRONZE	6X8	PORT COCHERE STAMPED TIN CEILING
MTL-012	METAL	BANKER WIRE	PZ-10	S-12 PRISMATIC OIL RUBBED BRONZE	TBD	PARKING GARAGE + RAILINGS METAL MESH
MTL-013	METAL	TBD	TBD	BLACK POWDERCOAT	TBD	AIR HANDLER METAL MESH SCREEN
PNT-020	PAINT	BENJAMIN MOORE	FLAT FINISH	WROUGHT IRON / 2124-19		EXTERIOR SIDING PAINT
PNT-021	PAINT	BENJAMIN MOORE	FLAT FINISH	ONYX / 2133-10		DARK EIFS BAND & CORNER TRIM PAINT
PNT-022	PAINT	BENJAMIN MOORE	SEMI-GLOSS FINISH	CHELSEA GRAY / HC-168		LIGHT EIFS BAND PAINT
PNT-023	PAINT	TBD AFTER OWNER REVIEW OF MOCKUP	EGGSHELL FINISH	TBD AFTER OWNER REVIEW OF MOCKUP		PORT COCHERE & PARKING GARAGE WALL PAINT
PNT-024	PAINT	BENJAMIN MOORE	FLAT FINISH	CUSTOM COLOR TO MATCH RGB 149, 75, 45		ORANGE BAND AROUND BUILDING

FINISH LEGEND - EXTERIOR ALTERNATE PAINTS*

FINISH NO.	MATERIAL	MANUFACTURER	STYLE NAME / NO.	COLOR	SIZE	DESCRIPTION / REMARKS
PNT-023.1	PAINT	BENJAMIN MOORE	FLAT FINISH	CHELSEA GRAY / HC-168	MOCKUP	PORT COCHERE & PARKING GARAGE MOCKUP PAINT
PNT-023.2	PAINT	SHERWIN WILLIAMS	FLAT FINISH	CLASSIC FRENCH GREY / SW 0077		PORT COCHERE & PARKING GARAGE MOCKUP PAINT

*NOTE: GC TO COORDINATE WITH OWNER FOR SCOPE OF EXTERIOR MOCKUP TO DETERMINE WHICH EXTERIOR LOCATIONS RECEIVE BELOW PAINT OPTIONS. APPROVED PNT FROM EXTERIOR MOCKUP TO BECOME PNT-023 FOR ROLL OUT.



6A EXTERIOR ELEVATION - NORTH

SCALE: 1/8" = 1'-0" DRAWING REF: A110.E



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TAPESTRY
COLLECTION BY
HILTON -
KNOXVILLE, TN
1109 WHITE AVENUE, KNOXVILLE, TN 37916

B 02/21/20 PERMIT COMMENTS 02 +
EXTERIOR BLADE SIGN
DETAILS

ISSUE
08/13/2019 -
CONSTRUCTION
DOCUMENTS

12-J-20-VA
EXTERIOR ELEVATIONS
A202.E

FINISH LEGEND - EXTERIOR

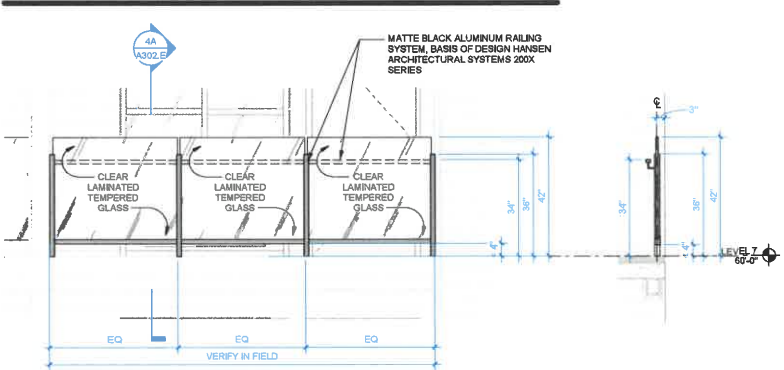
FINISH NO.	MATERIAL	MANUFACTURER	STYLE NAME / NO.	COLOR	SIZE	DESCRIPTION / REMARKS
CONC-001	CONCRETE	SCOFIELD	TEXTURETOP PRO	A-76 STONE GRAY AND A-57 PLATINUM GRAY	REF. DRAWINGS	PORT COCHERE STAMPED CONCRETE
BRK-002	BRICK	CAROLINA CERAMICS	ARCHITECTURAL COLLECTION	BLUE BLACK	THIN BRICK	EXTERIOR BRICK, RUNNING BOND INSTALLATION PATTERN WITH SOLDER COURSE AT WINDOW AND DOOR HEADERS, WHERE NOTED ON EXTERIOR ELEVATIONS. SUBMIT GROUT COLORS RANGING FROM WORKRITE PRINTER WP-267 TO WORKRITE 9 SMOKE WR-2682.
MTL-011	METAL	AMERICAN TIN	TBD	ARTISAN OIL RUBBED BRONZE	6318	PORT COCHERE STAMPED TIN CEILING
MTL-012	METAL	BANKER WIRE	FZ-10	S-12 PRISMATIC OIL RUBBED BRONZE	TBD	PARKING GARAGE + RAILINGS METAL MESH
MTL-013	METAL	TBD	TBD	BLACK POWDERCOAT	TBD	AIR HANDLER METAL MESH SCREEN
PNT-020	PAINT	BENJAMIN MOORE	FLAT FINISH	WROUGHT IRON / 2134-10		EXTERIOR SIDING PAINT
PNT-021	PAINT	BENJAMIN MOORE	FLAT FINISH	ONYX / 2133-10		DARK EPS BAND + CORNER TRIM PAINT
PNT-022	PAINT	BENJAMIN MOORE	SEMI-GLOSS FINISH	CHELSEA GRAY / HC-168		LIGHT EPS BAND PAINT
PNT-023	PAINT	TBD AFTER OWNER REVIEW OF MOCKUP	EGGSHELL FINISH	TBD AFTER OWNER REVIEW OF MOCKUP		PORT COCHERE + PARKING GARAGE WALL PAINT
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FINISH NO.	MATERIAL	MANUFACTURER	STYLE NAME / NO.	COLOR	SIZE	DESCRIPTION / REMARKS
PNT-023.1	PAINT	BENJAMIN MOORE	FLAT FINISH	CHELSEA GRAY / HC-168	MOCKUP	PORT COCHERE + PARKING GARAGE MOCKUP PAINT
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*NOTE: GC TO COORDINATE WITH OWNER FOR SCOPE OF EXTERIOR MOCKUP TO DETERMINE WHICH EXTERIOR LOCATIONS RECEIVE BELOW PAINT OPTIONS. APPROVED PNT FROM EXTERIOR MOCKUP TO BECOME PNT-023 FOR ROLL OUT.

TYPICAL GLASS RAILING @ BALCONY ELEVATION



6A EXTERIOR ELEVATION - EAST ENTRANCE

SCALE: 1/8" = 1'-0" DRAWING REF: A111.E

4C EXTERIOR ELEVATION - WEST

SCALE: 1/8" = 1'-0" DRAWING REF: A110.E

4A EXTERIOR ELEVATION EAST

SCALE: 1/8" = 1'-0" DRAWING REF: A110.E



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PROJECT NUMBER
2.180753.0

TAPESTRY COLLECTION BY
HILTON - KNOXVILLE, TN
1109 WHITE AVENUE, KNOXVILLE, TN 37916

B 02/21/20 PERMIT COMMENTS 02 + EXTERIOR BLADE SIGN DETAILS

ISSUE
08/13/2019 - CONSTRUCTION DOCUMENTS

EXTERIOR ELEVATIONS
A203.E
PRINT IN COLOR

12-J-20-VA



PROJECT NUMBER
2.180753.0

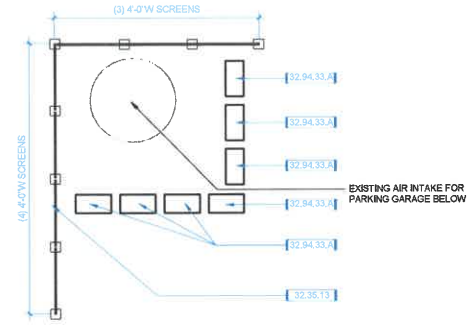
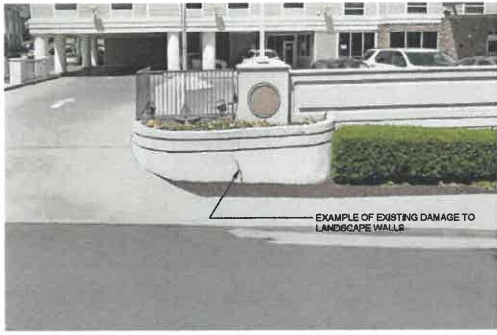
**TAPESTRY
COLLECTION BY
HILTON -
KNOXVILLE, TN**
1109 WHITE AVENUE, KNOXVILLE, TN 37916

B 02/21/20 PERMIT COMMENTS 02
EXTERIOR BLADE SIGN
DETAILS

ISSUE
**08/13/2019 -
CONSTRUCTION
DOCUMENTS**

12-J-20-VA
EXTERIOR ELEVATIONS -
COLOR (REFERENCE
ONLY)
A211.E
PRINT IN COLOR

BASKERVILL, P.O. BOX 400, RICHMOND, VA 23218-0400
 C:\Users\sbucham1\Documents\21807530 - PHG Tapestry Knoxville - 2018 - Arch sbucham.nf
 TEMPI AT# 2018.2 2/21/2020 12:52:10 PM



KEYNOTES

- 03.35.33 STAMPED CONCRETE, POURED IN PLACE, IN LARGE CHECKERBOARD PATTERN. BASIS OF DESIGN: SCOFIELD TEXTURETOP PRO IN A-75 STONE GRAY AND A-57 PLATINUM GRAY. BASIS: NEW CONCRETE TOPPING IS SLOPED TO MEET EXISTING PARKING DECK SURFACE AT AN ADA COMPLIANT ANGLE.
- 32.32.13 REPAIR ALL DAMAGE AND PAINT ALL LANDSCAPE/DECORATIVE WALLS IN FRONT OF THE HOTEL. INCLUDE ALL STAIRS.
- 32.35.13 LASER CUT GALVANIZED STEEL PRIVACY SCREEN WITH BLACK POWDERCOAT FINISH. BASIS OF DESIGN: 6'0" x 4'0" METALLIC ARROW DECORATIVE FENCE PANEL BY VERADEK. PERMANENTLY ATTACH TO LANDSCAPING WITH CUSTOM GALVANIZED STEEL PLATES WITH BLACK POWDERCOAT FINISH. SOLT MULTIPLE ASSEMBLIES TOGETHER FOR SUPPORT. MATCH FINISH OF BOLTS.
- 32.94.33.A TALL PLANTER, TYP. BASIS OF DESIGN: WEST ELM CITYSCAPE DOUBLE PLANTER 25" W x 13" D x 34" H, IN BLACK.
- 32.94.33.D SHORT PLANTER, TYP. BASIS OF DESIGN: WEST ELM CITYSCAPE TRIPLE PLANTER 37" W x 13" D x 18" H, IN BLACK.

GENERAL NOTES

- 1. INSTALL TAPESTRY PLAQUE AT ENTRY DOOR.
- 2. REPLACE ALL EXISTING EXTERIOR SIGNS WITH THE NAME OR IDENTIFYING MARK OF ANY PREVIOUS HOTEL BRAND.
- 3. INSTALL A NEW SIGN PACKAGE WITH ROOM NUMBERS, DIRECTIONAL SIGNS AND IDENTIFICATION SIGNS THROUGHOUT ALL AREAS OF THE HOTEL.
- 4. REFERENCE A111.E FOR ADDITIONAL SITE INFORMATION SUCH AS ADA PARKING REQUIREMENTS, SIGN PLACEMENT, AND ARCHITECTURAL DETAILS.
- 5. TEMPORARY SEEDING IS REQUIRED WHEN GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND ON SOIL STOCKPILES. PERMANENT SEEDING IS REQUIRED WHEN GRADING OPERATIONS ARE COMPLETED AND WHEN CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. SEED AREAS THAT SHOW SIGNS OF EXCESSIVE EROSION. ADEQUATE EROSION CONTROL MUST BE MAINTAINED DURING AND AFTER CONSTRUCTION.



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2.180753.0

**TAPESTRY
COLLECTION BY
HILTON -
KNOXVILLE, TN**
1109 WHITE AVENUE, KNOXVILLE, TN 37916

A 02/07/2020 PERMIT COMMENTS 01
ISSUE
**08/13/2019 -
CONSTRUCTION
DOCUMENTS**

12-J-20-VA
**SITE PLAN
A100.E**
PRINT IN COLOR

GENERAL NOTES:

- All design, fabrication, installation and construction shall conform to the following specifications, unless specifically noted otherwise on the drawing:
 - The 2018 International Building Code
 - American Concrete Institute Building Code Requirements for Reinforced Concrete (318-14).
 - American Institute of Steel Construction, Inc Manual of Steel Construction (14th Edition).
 - The Aluminum Association Design Manual, 2015 Edition.
 - American Welding Society ANSI/AWS D1.1 & D1.2 Structural Welding Code - Steel or Aluminum
- All components shall be as listed below, unless noted otherwise:
 - All structural aluminum shall be 6061-T6, 6063-T5, 5052-H32, or equal.
 - Steel rolled shapes, plates and bars shall be ASTM A36, or equal.
 - Steel pipe shall meet the requirements of ASTM A53, Type S or E, Gr B, or ASTM A500, Gr B.
 - Steel structural tubing shall be ASTM A500, Grade B, or equal.
 - All bolted connections shall be made with ASTM A325 Bolts, or equal.
 - All bolts in contact with aluminum shall either be stainless or galvanized.
 - All stainless steel bolts shall be in accordance with AISI 304 or 316.
 - All ferrous to non-ferrous materials shall be adequately separated to prevent corrosion.
 - All exposed materials shall be properly protected from weathering and/or corrosion.
- All field welds shall be made by a welder certified in the specified position. (none req'd this structure)
 - Steel welds shall be made with E70XX electrode, or equal.
 - All welds shall be made in a sequence that will balance the applied heat of welding while the welding progresses.
- The structure has been designed to withstand a 115 mph (3-sec gust) design wind speed with a maximum design pressure of 45.3 psf as per ASCE 7-10 (Exposure B, Risk Cat II).
- If existing and proposed conditions are not as detailed in this design drawing the installer shall notify the engineer immediately.
- The existing concrete column was assumed for design to have a compressive strength of at least 3000 psi.
- If existing and proposed conditions are not as detailed in this design drawing the installer shall cease work and notify Cornerstone immediately.
 - Cornerstone will not be performing on-site inspections or verification of conditions. It is the responsibility of the installer, the structure owner, and the property owner to identify the on-site conditions and to contact Cornerstone with any discrepancies or concerns.

IMPARTED LOADS NOTE:
THE FOLLOWING ARE WORST-CASE UNFACTORED, SERVICE LOADS IMPARTED ON THE BUILDING AT THE MOUNTING ARM ATTACHMENT LOCATIONS OF THE PROPOSED BLADE SIGN. THE BUILDING ENGINEER RESPONSIBLE FOR THE ATTACHED-TO BUILDING SHALL REVIEW THE FOLLOWING LOADS AND CONFIRM THAT THE EXISTING BUILDING IS ADEQUATE TO SUPPORT THESE LOADS.

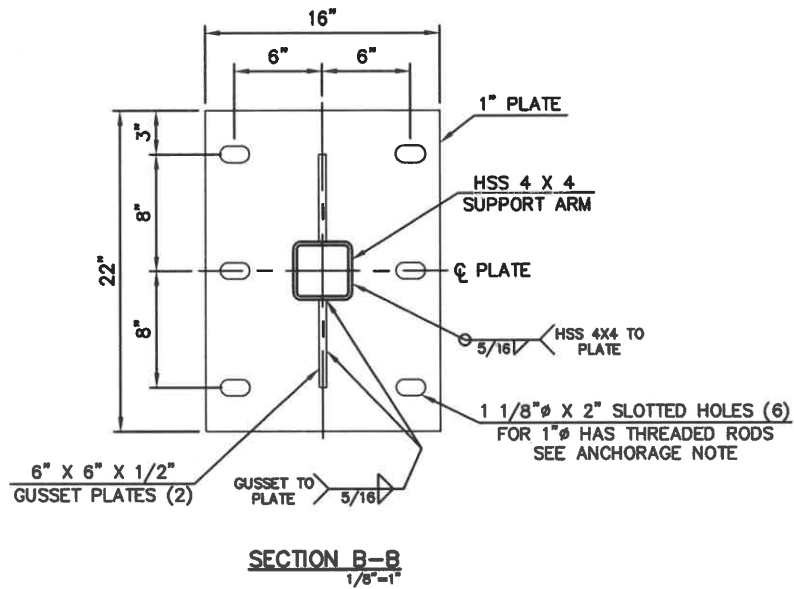
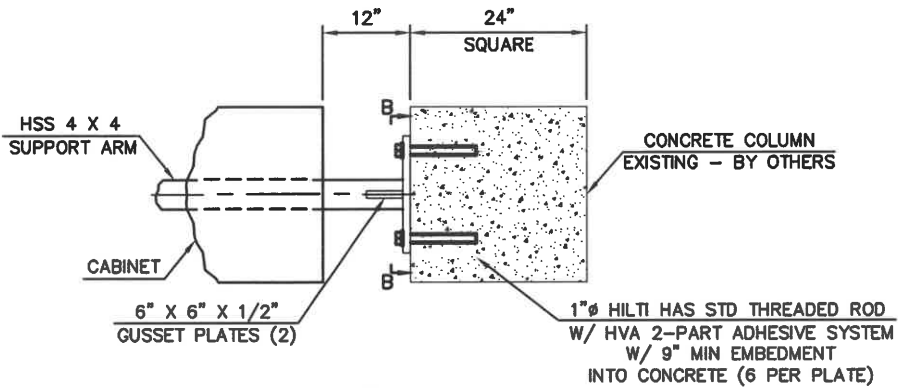
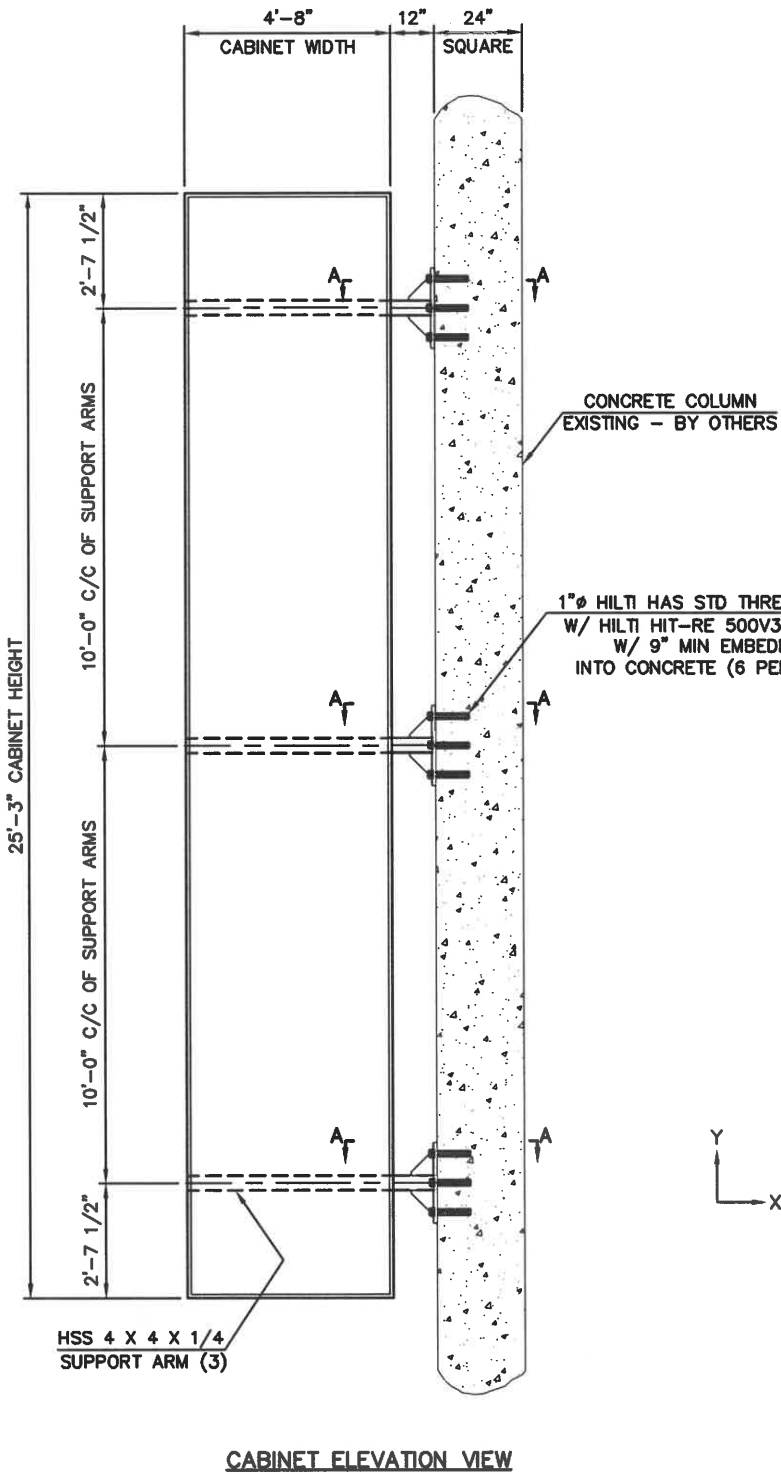
X = 0.1 KIPS (FROM WIND LOAD)
Y = 08 KIPS (FROM DEAD LOAD)
Z = 1.3 KIPS (FROM WIND LOAD)
Mx = 0.2 FT-KIPS (FROM WIND LOAD)
My = 4.1 FT-KIPS (FROM WIND LOAD)
Mz = 1.8 FT-KIPS (FROM DEAD LOAD)

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JAMES CORDELL KING III, P.E. ON THE DATE SHOWN ON THE TIME STAMP USING A DIGITAL SIGNATURE.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

NOTICE:

CORNERSTONE ENGINEERING, INC. IS RESPONSIBLE ONLY FOR THE STRUCTURAL DESIGN OF THE SUPPORT ARM, ITS ATTACHMENT TO THE MOUNTING PLATE, AND THE MOUNTING PLATE ATTACHMENT TO THE EXISTING CONCRETE COLUMN AS SHOWN. THE ATTACHED-TO CONCRETE COLUMN AND ITS ADEQUACY TO SUPPORT THE PROPOSED SIGNAGE IS THE RESPONSIBILITY OF THE BUILDING OWNER AND THEIR ENGINEER. THE ENGINEER RESPONSIBLE FOR THE ATTACHED-TO CONCRETE COLUMN SHALL CONFIRM THAT THE COLUMN IS ADEQUATE TO SUPPORT THE NOTED LOADS. INDIVIDUAL SIGN COMPONENTS ARE THE RESPONSIBILITY OF THE SIGN MANUFACTURER.



ADHESIVE ANCHOR NOTE:
ADHESIVE ANCHORS SHALL BE INSTALLED WITH STRICT ADHERENCE TO THE MANUFACTURER'S SPECIFICATIONS. SPECIAL ATTENTION SHALL BE GIVEN TO THE PREPARATION OF THE HOLE AND TO THE ALLOWED SET AND CURE TIMES OF THE ADHESIVE.

ANCHORS SHALL BE 1" STAINLESS STEEL THREADED RODS IF THE SIGN COMPONENTS ARE ALUMINUM AND THEY SHALL BE GALVANIZED STEEL IF THERE ARE STEEL COMPONENTS IN THE CABINET.

ANCHORS SHALL BE INSTALLED WITH HILTI HIT-RE 500V3 ADHESIVE AND A 9" MINIMUM EMBEDMENT INTO THE CONCRETE COLUMN

THE CENTER OF EACH ANCHOR SHALL BE NO CLOSER THAN 5" FROM THE EDGE OF THE ATTACHED-TO CONCRETE COLUMN.

ALTERNATIVE ANCHORS MAY BE USED ONLY AS APPROVED BY CORNERSTONE.



PREPARED FOR:
PERSONA, INC.
P.O. Box 210 - Watertown, SD 57201

Cumberland House Wall Mounted Blade Sign
1109 White Avenue - Knoxville, Tennessee

Drawn By: CRS
Date: 07/13/2020
Sheet: 1 of 1

Project #: 200355
Dwg #: CA24925
Scale: 3/8"=1'-0"

JAMES CORDELL KING III
Digitally signed by James Cordell King III
James Cordell King III
P.E.
2020.07.13
14:04:26 -0400
STATE OF TENNESSEE
No. 114975
TN P.E. # 114975

12-J-20-VA

1

SOUTH ELEVATION
SCALE: 1/32" = 1'-0"

BLADE SIGN DETAIL
SCALE: 3/16" = 1'-0"
(4.66")

25'-3"
25'-3"

4'-8"

2'-0"

5'-2" 2'-5"

CUMBERLAND HOUSE

CUMBERLAND HOUSE

CUMBERLAND HOUSE

NIGHT VIEW

REVERSE HALO LIT CHANNEL LETTERS

ORANGE GE CONTOUR

PUSH THRU ACRYLIC WITH OPAQUE VINYL (1ST SURFACE)

APPROVAL BOX - PLEASE INITIAL

CUSTOMER APPROVAL		Date

NOTE: Elevation drawings are for customer approval only, drawings are not to be used as any installation guide, all dimensions must be verified before installation.

Customer:	Date:	Prepared By:	File Name:	Eng:
CUMBERLAND HOUSE	12OCT20	SC/KH/JS/CM/SC	211793 - R6 - KNOXVILLE, TN - BLADE SIGNS	-

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